



PLAN COMMISSION AGENDA

May 12, 2022 – 7:00 pm

Village Hall

235 Hickory Street, Pewaukee, WI 53072

1. Call to Order and Roll Call
2. Public Hearings.
 - a. On a Conditional Use Grant request to construct a multi-family building/use (i.e. a duplex) at 203 E. Wisconsin Avenue. The property owners / applicants are Joanne Koehler and Dwight Zoellner. The property is zoned B-2 Downtown Business District.
 - b. On a Conditional Use grant request to construct a 141-Unit Housing for the Elderly project on 4.7 acres of vacant land located at the northwest corner of Swan Road and Hwy 164. The applicant is Aaron Matter d/b/a Matter X LLC. The property owner is BV-Pewaukee Ltd Partnership. The property is zoned B-3 Office and Service Business District with Housing for the Elderly Overlay.
3. Citizen Comments – *This is an opportunity for citizens to share their opinions with Commission Members on any topic they choose. However, due to Wisconsin Open Meeting laws, the Commission is not able to answer questions or respond to your comments. All comments should be directed to the Commission. Comments are limited to 3 minutes per speaker. Speakers are asked to use the podium and state their name and address.*
4. Approval of the Minutes:
 - a. Regular Plan Commission Meeting – April 14, 2022
5. Old Business.
 - a. Review and discussion regarding possible updates to the Village’s ‘Off-Street Parking Requirements’ as set forth in Chapter 40, Article VII, Division 2. of the Village Code.
6. New Business.
 - a. Review and Possible Action on a Conditional Use Grant request to construct a multi-family building/use (i.e. a duplex) at 203 E. Wisconsin Avenue. The property owners / applicants are Joanne Koehler and Dwight Zoellner. The property is zoned B-2 Downtown Business District.
 - b. Review and Possible Action on a Conditional Use grant request to construct a 141-Unit Housing for the Elderly project on 4.7 acres of vacant land located at the Northwest corner of Swan Road and Hwy 164. The applicant is Aaron Matter d/b/a Matter X LLC. The property owner is BV-Pewaukee Ltd Partnership. The property is zoned B-3 Office and Service Business District with Housing for the Elderly Overlay.
 - c. Review, discussion and consultative feedback to the applicant regarding possible modifications to the rear yard requirements as set forth in the Residential Infill-Redevelopment Overlay District pertaining to lots with rear yards that abut, entirely, the rear yard of other newly platted lots and/or outlots within the same development. The applicant

is Cornerstone Development in c/o Joe Orendorf and John Wahlen, and Alan Peters of True Vine Development. This property is zoned Residential Infill-Redevelopment Overlay District.

- d. Review, discussion, and possible approval of a Sign Code Waiver request for Dollar Tree, in c/o Bob Kraus of Bauer Sign, to place a 57.39 square foot tenant wall sign on the main entry/south facing façade of their tenant space in the building at 690 Westfield Way where 30 square feet maximum is set forth by Code. The property owner is 690 Westfield Way LLC. This property is zoned B-1 Community Business District.

7. Citizen Comments. – *This is an opportunity for citizens to share their opinions with Commission Members on any topic they choose. However, due to Wisconsin Open Meeting laws, the Commission is not able to answer questions or respond to your comments. All comments should be directed to the Commission. Comments are limited to 3 minutes per speaker. Speakers are asked to use the podium and state their name and address.*

8. Adjournment

Note: It is possible that members and/or possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; action will not be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in the notice. Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. To request such assistance, contact the Village Clerk at 262-691-5660.

Dated: May 6, 2022

PLAN COMMISSION MINUTES
April 14, 2022 – 7:00 pm
Village Hall
235 Hickory Street, Pewaukee, WI 53072

DRAFT-DRAFT-DRAFT-DRAFT-DRAFT-DRAFT-DRAFT-DRAFT-DRAFT

1. Call to Order and Roll Call

President Knutson called the meeting to order at approximately 7:00 p.m.

Plan Commission members present: Comm. Jim Grabowski, Comm. Theresa Hoff, Comm. Belt, Trustee Craig Roberts, and President Jeff Knutson. Excused: Comm. Cheryl Mantz and Comm. Ryan Lange

Also present: Village Planner, Mary Censky; Village Attorney, Matt Gralinski; Village Administrator, Scott Gosse; and Village Clerk, Casandra Smith. Tim Barbeau

2. Public Hearings - None.

3. Citizen Comments – None.

4. Approval of the Minutes:

a. Regular Plan Commission Meeting Amendment – March 10, 2022

Comm. Grabowski motioned, seconded by Trustee Roberts to approve the minutes of the March 10, 2022, Regular Plan Commission meeting as presented.

Motion carried 4-0-1; Comm. Belt abstained.

5. Old Business

a. Review and possible recommendation to Village Board on updates to the Village of Pewaukee Comprehensive Plan – 2035.

Planner Censky presented the updated version of the Village of Pewaukee Comprehensive Plan-2035. Censky stated that there are a few areas that will be updated after the 2020 Census information is fully available, therefore, after Waukesha County updates its Comprehensive Plan, the Village will capture their data and update the pertinent sections and bring it back to the Planning Commission and Village Board for approval as an amendment at that time.

Trustee Roberts motioned, seconded by Comm. Grabowski to recommend approval of the Village of Pewaukee Comprehensive Plan-2035 to the Village Board as presented.

Motion carried unanimously.

b. Review and discussion regarding possible updates to the Village's 'Off-Street Parking Requirements' as set forth in Chapter 40, Article VII, Division 2. of the Village Code.

Planner Censky presented the B-1 and B-3 district parking requirements in relation to each use along with surrounding communities' parking requirements. Censky noted that she has not noted

any professional planning services working on a change regarding revised accepted parking standards or requirements due to the apparent shift with employees working remotely and/or the change in the economy since Covid. Discussion followed regarding the different areas to be addressed with the consensus of focusing on strip malls within the Village. Censky stated that she feels comfortable surveying developers to get their opinion on what they feel is appropriate for parking requirements.

6. New Business

a. Review, discussion and possible approval of a Sign Code Waiver request for Northwoods Marine to place a 56.2 square foot tenant wall sign on the façade of the building at 601 Ryan Street where 30 square feet is permitted by Code. The tenant/applicant is represented in c/o business owner Peter Drees and Pewaukee Signarama. The property owner is Society of St. Vincent DePaul of Waukesha County. This 10-acre site is zoned B-1 Community Business.

Planner Censky explained that Northwoods Marine, a tenant of 601 Ryan Street asked for a sign code waiver to place a 56.2 sq. ft. sign at the business due to the setback of this building being over 800 feet from Ryan Street so it's very hard to get noticed by customers. This request is thought to be reasonable when comparing it to the other signs within the strip mall area, the scale of the wall it's attached to and the setback of the building. Discussion followed regarding the precedence set to give sign code waivers.

Comm. Grabowski motioned, seconded by Comm. Belt to approve the sign code waiver request for Northwoods Marine to place a 56.2 sq. ft. sign to the facade of the building at 601 Ryan Street as presented and for the specific reasons explained above.

Motion carried unanimously.

b. Review, discussion and consultative feedback to the applicant regarding possible exceptions to the rear yard requirement for a limited subset of lots in the Glen at Pewaukee Lake subdivision. The applicant is Cornerstone Development in c/o Joe Orendorf and John Wahlen, and Alan Peters of True Vine Development. This property is zoned Residential Infill-Redevelopment Overlay District.

Planner Censky stated that Cornerstone has requested that the rear lot line offset/yard requirement be amended for twelve identified lots. Currently, the development is marketing homes to sell and about 12 lots have limitations to where some of the styles of houses would not allow the deck to be built off the back due to existing offset requirements. Allowing the referenced lots to have decreased offsets would give the applicant more ability to market and sell customizable homes. Cornerstone representative, Joe Orndorf of W282N4427 Summerset Ln, Pewaukee explained that the developer is now starting to work on home designs and they want to ensure that all homes being offered will work on all lots within the new development. There are about 12 lots where room for a deck is not possible due to the rear setback currently in place and he asked for a 10' modification to the rear setback on those identified lots. Discussion followed regarding the proposed lots and the impact they would have on the existing neighbor's properties. The applicant responded to Comm. Hoff and stated that all other lots have plenty of room for decks it is only the identified 12 properties where this is a concern so they would not be coming back in the future asking for more exceptions. Discussion followed on which lots would

be most important to approve. Cornerstone representative, Joe Orendorf, stated that they will come back next month with a proposal based on the feedback received.

c. Review, discussion and possible recommendation to the Village Board for approval of the Final Plat of The Glen at Pewaukee Lake subdivision. This 14-acre, 46-lot final subdivision plat is zoned Residential Infill-Redevelopment Overlay District. The applicant is Cornerstone Development in c/o Joe Orendorf and John Wahlen, and Alan Peters of True Vine Development.

Planner Censky stated that Cornerstone Development submitted a plat that is consistent with the preliminary plat presented at a past meeting. If the changes in 6b are approved they can be noted on the final plat map and it would be more advantageous if the exceptions are approved before the filing of the map. Engineer Barbeau reviewed the map with the Plan Commission and recommended approval with the conditions as presented in his staff memo. True Vine Development representative, Alan Peters explained that on lots 25 and 32 the property lines changed to include preserving trees and allowing the current owners to maintain the land that they have requested to continue to use. With the approval to recommend the final plat to the Village Board, the developer will work on completing the recommendations from Waukesha County, Wis DOA, the Village Engineer, and the Village Planner before the Village Board's approval. Discussion followed regarding some of Waukesha County's comments.

Comm. Grabowski motioned, seconded by Trustee Roberts to approve the Final Plat of The Glen at Pewaukee Lake Subdivision with the following conditions from the Village Planner, Village Engineer, and Waukesha County:

Village Planner Recommendations:

1. Applicant to comply fully with any/all requirements as setforth by the Wis DOA in their review of this plat;
2. Applicant to comply fully with any/all requirements as setforth by the Waukesha County in their review of this plat;
3. Applicant to comply fully with any/all requirements as setforth by the Villages Consulting Engineer in his review of this plat;
4. Applicant to fulfill all obligations of the Development Agreement associated with this plat which may be pre-requisites to the final plat approval, and/or prior to placement of Village signatures onto and recording of the final plat.

Village Engineer Recommendations:

1. Proper names are provided for the Owner's Certificate
2. The individual lot line distances do not total the overall line distances for the following segments:
 - a. Lot 8 and Outlot 3 along Lifestyle Lane
 - b. The northerly line of Outlot 4 and Lots 11-20
 - c. The right-of-way line along Lots 2 – 6
 - d. The easterly Lines of Lots 31-33
3. There are numerous easements shown on the plat. Those easements should be defined under separate documents and the recorded document number for each easement shown on the plat.
4. Language should be added to the vision corner details stating that the purpose is to provide an area of clear vision at the intersection of two streets. No plantings, trees, fences or other obstructions shall be placed in the triangle that does not provide clear vision.
5. I suggest that the issue related to quit claiming land to Lot 25 be addressed prior to execution

of the final plat if at all possible to eliminate any future confusion.

6. There are two notes on Sheet 5 of 6 that indicate Outlots to be fractionally owned. I am not sure of the need for the note related to Outlots 3 and 4 in the first note. If the intent is to state that there is a drainage easement on those lots, I suggest that a separate note be included that states something to the effect of "Outlots 3 and 4 are encumbered by a Stormwater Maintenance Agreement recorded as Document No. _____".

Waukesha County Recommendations:

1. Prior to recording the plat, a revised informal copy of the plat addressing the outstanding conditions of this certification letter shall be forwarded to Waukesha County for review.

2. All easements, such as proposed or existing drainage ways, access, storm sewer, sanitary sewer and/ or utilities easements shall be shown on the plat. Any related recorded documents numbers shall also be noted on the plat.

3. The Outlot notes that describe indivisible fractional ownership on Sheet 5 shall include language similar to the following. "Each individual lot owner shall have an undividable fractional ownership in Outlot(s) No. and Waukesha County shall not be liable for any fees or special assessments in the event they become the owner of any lot or outlot in the subdivision by reason of tax delinquency".

4. General notes No. 5 and No. 6 are in conflict with regard to ownership of Outlots 3 and 4 and shall be clarified. One of the notes states that they are under ownership of all lot owners and the other identifies ownership by only select lot owners.

5. We question the intent of the Developer retaining Outlot 2. Small Outlots are liable to fall into tax delinquency. Please convey the intent of Outlot 2 to Waukesha County.

6. Since variable rights-of-way are shown, the Village should verify that any required dedications are shown correctly on the plat.

7. According to the soil survey of Milwaukee and Waukesha Counties, lots in this subdivision may contain soils with seasonal high groundwater located less than 3 ft. below ground surface. We recommend that soil testing be done on lots containing such soils. Unless the developer can demonstrate by soil tests or other supporting data that conventional basements would clear the highest anticipated groundwater level by one (1) foot, minimum basement floor elevations should be stated on the plat or master grading plan. At a minimum, the following note shall be placed on the plat:

"Although all lots in the Subdivision have been reviewed and approved for development with single-family residential use in accordance with Section 236 Wisconsin Statutes, some lots contain soil conditions that, due to the possible presence of groundwater near the surface, may require additional soil engineering and foundation design with regard to basement construction. It is recommended that a licensed professional engineer design a basement and foundation that will be suitable to withstand the various problems associated with saturated soil conditions on basement walls or floors or that other special measures be taken. Soil conditions should be subject to each owner's special investigation prior to construction and no specific representation is made herein."

8. Consider renaming the south portion of Sandy Circle located between Wisconsin Avenue and the proposed lot 6.

9. If easement access across lots 30-33 is limited to a prescribed number of lot owners, we recommend the Village require signage to prevent use of the easement by unauthorized users.

10. The Village should specify the minimum requirements for private roadways, and we recommend that the Developer's Agreement contain long term maintenance obligations that will

be disclosed to all of the lot owners.

11. Given the small lot sizes and sloping terrain, we recommend that the Village require a Master Grading plan for the development.

12. Since part of Lot 25 may be conveyed (per the plat notes), we recommend the Village require a building envelope on Lot 25 to ensure that all future building and structures meet setbacks from any future (modified) lot lines.

13. If the Village has any restrictions relative to the height of plantings, berms, fencing, signs or any other structures within vision corner easements, they shall be specified in the notes.

14. The Waukesha County Park and Open Space Plan calls for bicycle accommodations along Wisconsin Ave. We recommend the Village determine if bicycle accommodations, either now or in the future, should be considered.

Motion carried unanimously.

7. Citizen Comments – None.

8. Adjournment

Trustee Roberts motioned, seconded by Comm. Grabowski to adjourn the April 14, 2022, Regular Plan Commission meeting at approximately 8:47 p.m.

Motion carried unanimously.

Respectfully submitted,

Cassandra Smith
Village Clerk

STAFF REPORT

To: Village of Pewaukee Plan Commission

By: Mary Censky

Date Prepared: May 12, 2022

General Information:

Agenda Item: **5.a.**

Applicant:

N/A

Status of Applicant:

Village initiated item

Requested Action:

Review and general discussion regarding the Village's parking requirements for all business zoning districts as it relates to the apparent decline in brick-and-mortar retail shopping and the continuing practice of working remotely-away from brick-and-mortar office environments. Of particular interest is the potential for excessive parking allocations displacing underutilized otherwise useable/developable space in the Village's business areas.

Discussion:

The Planner will provide an update on the status of locally-based research/investigation about this topic.

STAFF REPORT

To: Village of Pewaukee Plan Commission

By: Mary Censky
Date Prepared: May 12, 2022

General Information:

Agenda Item: **6.a.**

Applicant/Property Owner:

Joanne Koehler and Dwight Zoellner

Requested Action:

Recommendation to Village Board for approval of Conditional Use Grant to develop a duplex on a site zoned B-2 Downtown Business District.

Existing Zoning:

B-2 Downtown Business District

Surrounding Zoning/Land Use:

North: Pewaukee River & R-5 Single-Family Residential District
South: Institutional & Public Service District
East: B-2 Downtown Business District
West: R-5 Single-Family Residential District

Existing Master Plan Classification:

Single-Family Residential

Proposed Master Plan Classification:

Community Commercial

Location:

203 E. Wisconsin Avenue

Lot Size:

.3081 +/- acres

Discussion:

Conditional Uses listed in the B-2 Downtown Business district include "Multi-family residential development subject to approval not only by the Planning Commission, but also by the Village Board upon finding that the proposed development will not be detrimental to the surrounding area and/or generate adverse impacts upon the public health, safety and welfare".

Back in December, 2020, the applicant received favorable recommendation for Conditional Use Grant (CUG) approval to construct a duplex on this lot. This recommendation was conditioned on, among other things, the applicant providing evidence satisfactory to the Village Attorneys review that a permanent ingress/egress easement to the rear of this lot from Clark Street benefitting this lot and proposed duplex use was, in fact, effective. The Village Board did ultimately approve the CUG as well, with the same conditions. The applicant was not able to satisfy this condition so they have redesigned the duplex plan to the extent it now has front loading garages for each unit and would gain its access directly from/along East Wisconsin Avenue.

The new plan presented provides two-dwelling units, side-by-side in a 3-story building. Each unit faces E. Wisconsin Avenue, including the attached garages, and gets its driveway access directly from East Wisconsin Avenue. The building has a two-story appearance from the front.

Recommendation:

The Planner has no specific objection to this plan as presented but encourages the Planning Commission and Village Board consider attaching the following conditions to any approval as may be granted:

- 1) Prior to recording of the Conditional Use Grant, the applicant must provide to Village Staff and depict on the site plan, the calculations confirming the minimum open space standard of the B-2 District (i.e., 5%) is met within the developed lot;
- 2) Prior to recording of the Conditional Use Grant, the applicant must provide to Village Staff and depict on the site plan, the actual and Code compliant front (minimum 15'), side and rear (both minimum 10') setbacks/offsets of the proposed new duplex to the lot lines.
- 3) The applicant to secure an amendment to the Comprehensive Plan Land Use Plan Map Element changing the category of Land Use for this site from existing Single-Family Residential to proposed General Commercial prior to issuance of a building permit for the new duplex;
- 4) Village Engineer review and approval of the development plan as to the direct driveway access to East Wisconsin including for instance, the specific location and dimensions thereof, and also as to grading, drainage and provision of utilities to the site.



0 94.22 Feet

The information and depictions herein are for informational purposes and Waukesha County specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Waukesha County will not be responsible for any damages which result from third party use of the information and depictions herein, or for use which ignores this warning.

Notes: 203 E. Wisconsin Avenue

Printed: 12/2/2021



Village of Pewaukee Plan Commission
Engineer's Report for May 12, 2022

Koehler/Zoellner Duplex
203 E. Wisconsin Avenue

Report

The proposed layout of the duplex now shows two garages that will access East Wisconsin Avenue. I have considered the effect on the driveways as it relates to the on-street parking. Currently, most of the frontage of the lot is marked to allow on street parking. There is a short portion of the westerly end of the lot that has a curb painted yellow. To the west of the driveway there is a sign that states no parking. I am assuming that the no parking sign is located as stated in order to allow vehicles to by-pass vehicles that are turning left onto Prospect Sweeney. Also, I observed that the Village paints the curb yellow (no parking?) adjacent to all the driveway openings in the downtown area. Again, I assume that the intent is to avoid parked vehicles to be too close to the driveways and cause a site view concern. For this development, the driveways could extend into the roadway and yellow painted curbs should be provided to minimize site view concerns. The driveway will reduce the number of existing parking spots by 3 or 4 spaces. I have not observed substantial parking along the north side of East Wisconsin in the area of the proposed development during normal daily operations.

The maximum opening for two-family residential structures is 25 feet. The preference would be to have a single driveway opening for use by both units.

Based on the current building and impervious surface on the lot, no stormwater management facilities are required. The plan set did not include a grading and drainage plan. The general pattern is from the front to the rear. The owner will need to consider grading swales in the green space along the side of the proposed structure to accommodate water flow to the rear. Any areas in the rear of the lot should be changed from stone to green space for better stormwater management.

If the intent of the owner is to provide separate sewer and water laterals to each unit, the work should be performed prior to the E. Wisconsin Avenue reconstruction project scheduled for the summer of 2022.

Recommendation

Should the Plan Commission move this request forward, any action should be conditioned on resolution of the following items:

1. Submittal of a site grading, drainage and erosion control plan and subsequent Village Engineer approval of the plan prior to receiving a building permit that shows a single driveway approach for the two units.
2. Completion of all underground work (sewer, water, electric, gas, etc.) that may affect E. Wisconsin Avenue shall be coordinated with the construction manager for the Village,

Village Engineer and Director of Public Works and be completed at a time that will not negatively affect the construction work on East Wisconsin Avenue.

Tim Barbeau, Village Consulting Engineer
May 3, 2022.



**Conditional Use Grant
Application Form**

Address/Parcel No. of Property Involved: 203 East Wisconsin Ave.

Zoning of Property: B-2

Current Owner of Property: Dwight Zoellner and Joanne Koehler

Applicant - Name: Dwight Zoellner and Joanne Koehler

Address: 165 East Wisconsin Ave.

Phone: (414) 469-0274

Fax: _____

Email: crankthisout@yahoo.com Annjoe88@yahoo.com

Nature of Request (If Requesting Approval for a New Business, Please Attach a Business Summary):

Requesting approval to demolish current barn structure
where new building is to be built

Requesting approval to build a 2-unit side by side
condominium with garages in front.

Provide detailed information with your application that addresses the following:

1. Development Plans of the proposed use in sufficient detail to enable the Commission to evaluate the suitability of architectural & landscape treatment, proper placement of the building(s) on the lot, traffic generation & circulation, provision for parking, drainage, exterior lighting, control devices (when necessary) to eliminate noise, dust, odor, smoke or other objectionable operating conditions & general compatibility of the proposed use with the area in which it is located.



PROFESSIONAL SERVICES REIMBURSEMENT NOTICE

Pursuant to the Village of Pewaukee Code of Ordinances, the Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village. Also, be advised that pursuant to the Village of Pewaukee Code of Ordinances, certain other fees, costs, and charges are the responsibility of the property owner or responsible party.

I, the undersigned, have been advised that, pursuant to the Village of Pewaukee Code of Ordinances, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred by the Village. In addition, I have been advised that pursuant to the Village of Pewaukee Code of Ordinances, certain other fees, costs, and charges are my responsibility.

The Village will place fees from unpaid invoices on the real estate tax bill of the property that corresponds to the incurred services.

RESPONSIBLE PARTY & MAILING ADDRESS

Dwight Zuelner and Joanne Koehler

Name of Company and/or Individual

165 East Wisconsin Ave. Pewaukee WI 53072
Street City State Zip
(262) 408-0676 Phone: *(414) 469-0874* Fax: *crankthisout@yahoo.com* E-Mail: *Annjoe88@yahoo.com*

Dwight Zuelner 3/23/2022

Joanne Koehler
Signature of Applicant & Date

Dwight Zuelner 3/23/2022

Joanne Koehler
Signature of Property Owner & Date

Village Official Accepting Form & Date

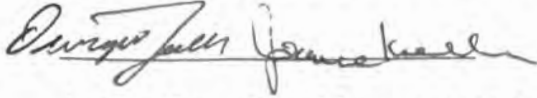
SEND ALL PROFESSIONAL
SERVICES INVOICES TO:
(Check One)

Property Owner

Applicant

2. It is the responsibility of the applicant/owner to ensure that the proposed project meets the Village's Land Development Code. It is also highly recommended that the applicant/owner review the Village's adopted Land Use Plan.

Signature of Property Owner as listed on this Application:

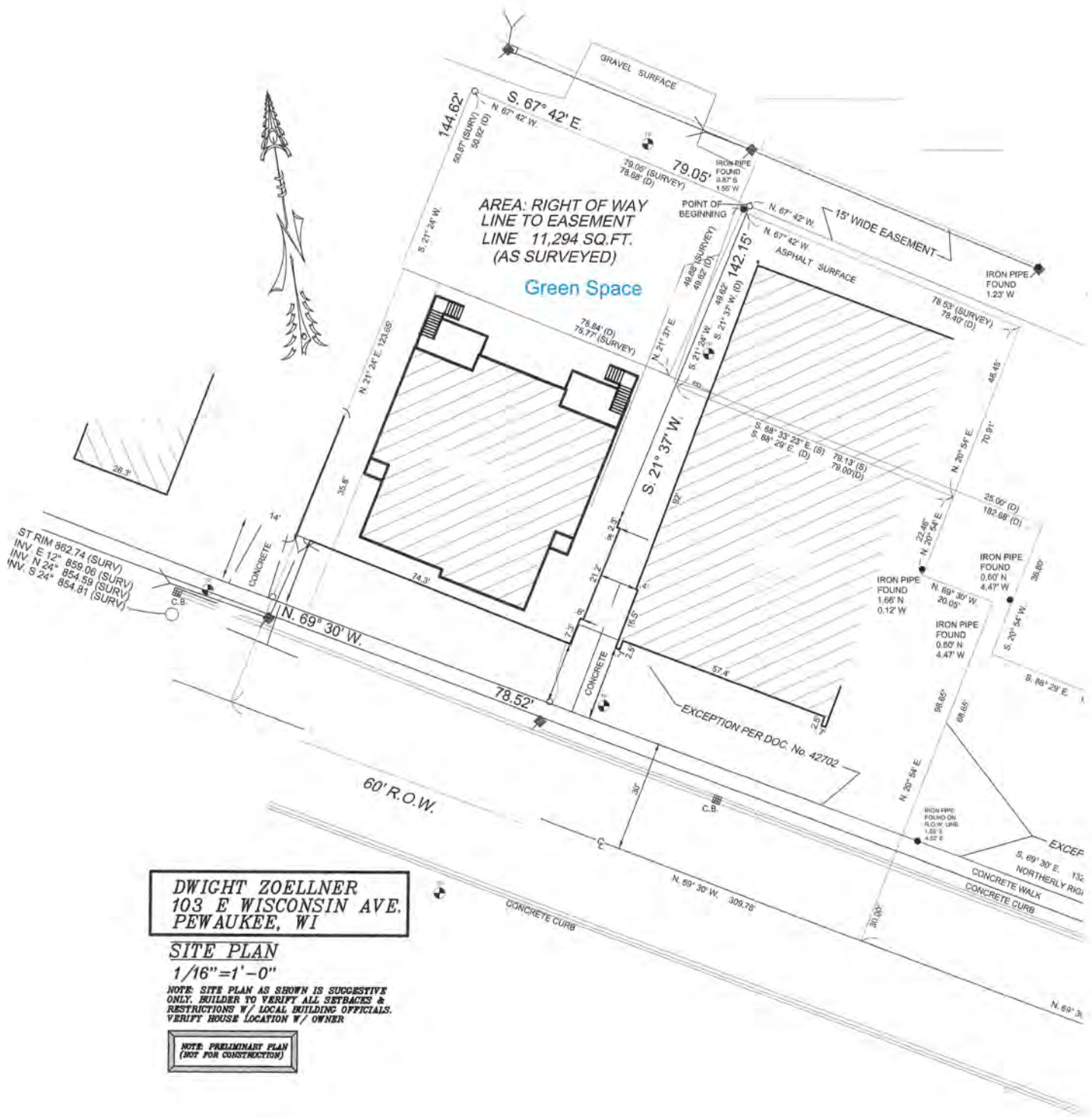


Application will not be processed without the Owner's Signature regardless of who is listed as the Applicant. This signature authorizes the Village of Pewaukee to process the Conditional Use Approval Application proposed for my property and further authorizes the Village or its representatives to conduct reasonable and routine inspections of my property for the purposes of evaluating this application.

Signature of Applicant (if different than Owner):

Please return Completed Application Forms along with required attachments and the \$100 Application Fee to Pewaukee Village Hall, 235 Hickory Street, Pewaukee, WI 53072. If you have any questions, please call Village Hall at (262) 691-5660.

****Please submit eleven sets of any applicable attachments as well as a digital copy of any attachments submitted.**



DWIGHT ZOELLNER
103 E WISCONSIN AVE.
PEWAUKEE, WI

SITE PLAN
1/16" = 1'-0"

NOTE: SITE PLAN AS SHOWN IS SUGGESTIVE ONLY. BUILDER TO VERIFY ALL SETBACKS & RESTRICTIONS W/ LOCAL BUILDING OFFICIALS. VERIFY HOUSE LOCATION W/ OWNER

NOTE: PRELIMINARY PLAN (NOT FOR CONSTRUCTION)



UNIT 1
EAST ELEVATION
1/4" = 1' = 0"



SOUTH ELEVATION
1/4" = 1' = 0"

SHEET
1

301 DUPLEXES FOR: DWIGHT ZOELLNER
303 E WISCONSIN AVE. FENWAUKEE, WI
DESIGNED BY: JEFF HIBBARD DESIGN SERVICES
DATE: 1/17/22

JEFF HIBBARD DESIGN SERVICES
1004 OLDE ONEIDA STREET
APPLETON, WI 54915
PHONE: (920) 731-7385

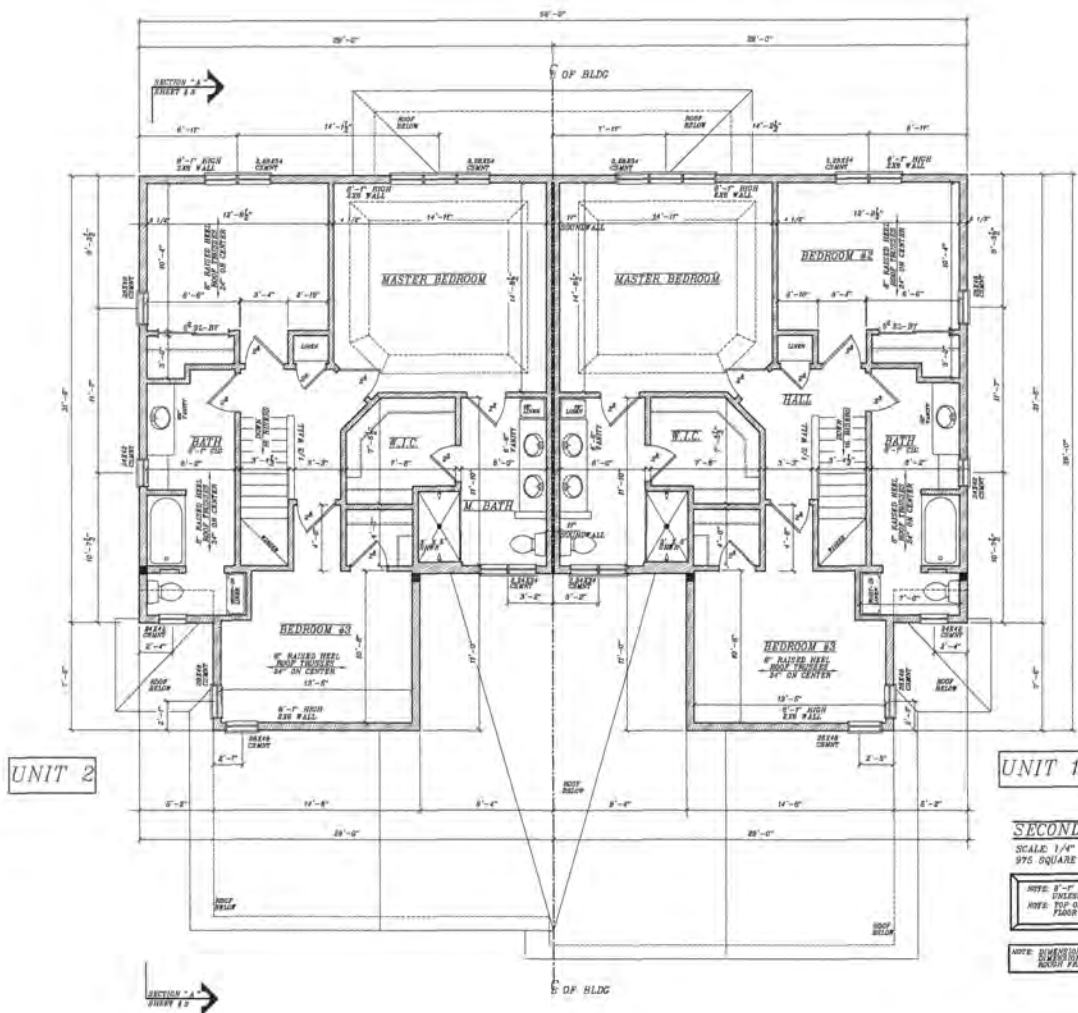


STEP DOWN ALL FOOTINGS AS REQUIRED TO ACHIEVE MIN 1'-0" GRADE COVER OVER ALL FOOTINGS. SET FOOTINGS ON VIRGIN SOIL. RETAIN WALL HEIGHTS & SETBACKS MAY VARY FROM WHAT IS SHOWN ON PLAN.

2021 DUPLEXES FOR DWIGHT ZOLLNER
 205 E WISCONSIN AVE. PEWAUKEE, WI
 DESIGNED BY JEFF HIBBARD DESIGN SERVICES
 DATE: 4/17/23

JEFF HIBBARD DESIGN SERVICES
 1004 OLDS ONEIDA STREET
 APPLETON, WI 54915
 PHONE: (920) 731-7365

SHEET
 2



SECOND FLOOR PLAN
 SCALE 1/4" = 1'-0"
 975 SQUARE FEET

NOTE: 8" - 0" 2x8 SECOND FLOOR WALLS
 UNLESS OTHERWISE NOTED
 NOTE: TOP OF WINDOWS & 6" - 0" OFF
 FLOOR UNLESS NOTED

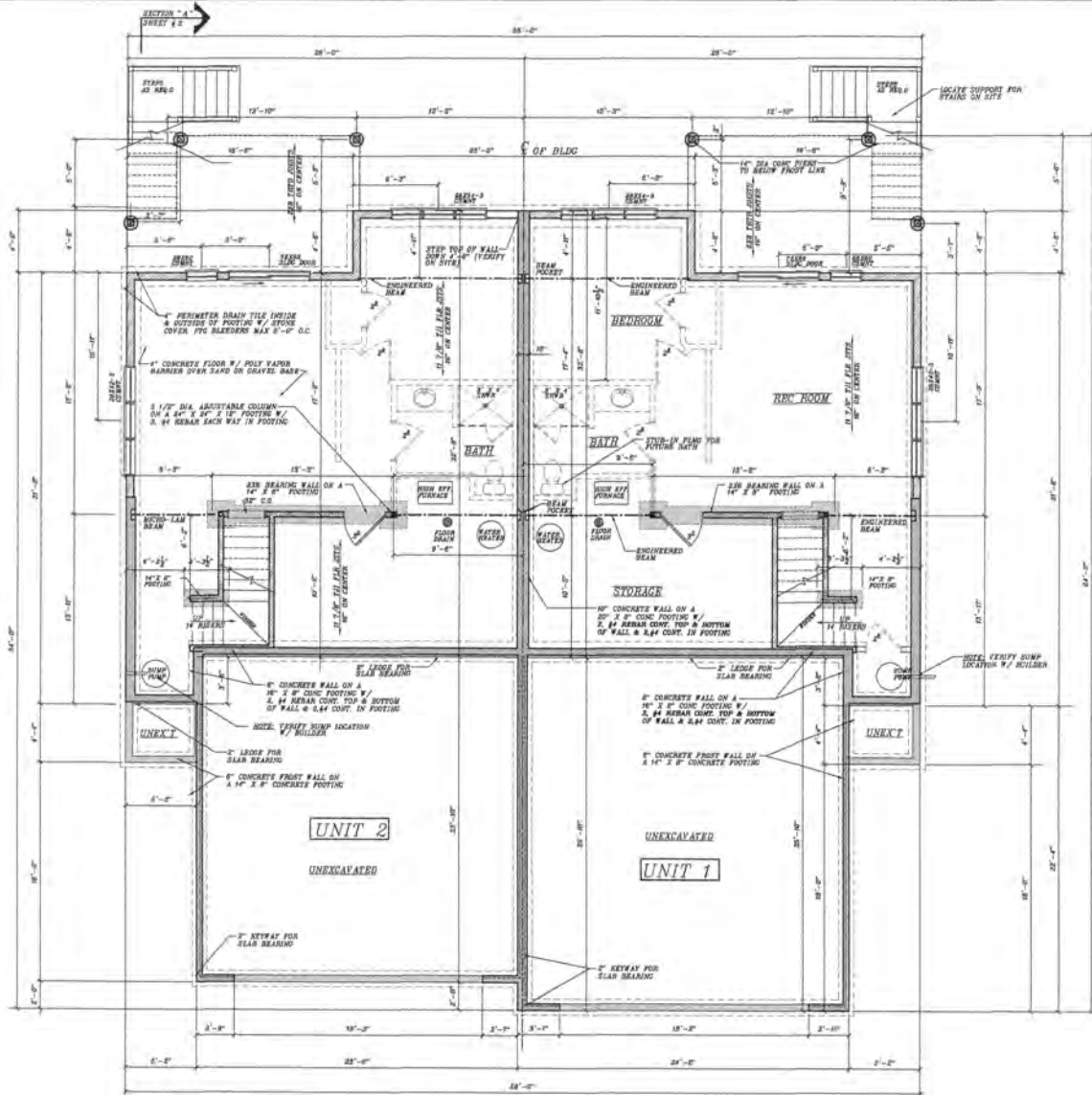
NOTE: 45 DEGREE ANGLE TO BE MAINTAINED
 ROOF FRAMING

SHEET
 4



2501 DUPLEXES FOR DWIGHT BOLLMAN
 204 E WISCONSIN AVE. PLYMOUTH, WI
 DESIGNED BY JEFF HIBBARD DESIGN SERVICES
 DATE 4/11/24

JEFF HIBBARD DESIGN SERVICES
 1004 OLDE ONEIDA STREET
 APPLETON, WI 54915
 PHONE: (920) 731-7365



SECTION - A-1
 STREET 4.2

SECTION - A-2
 STREET 4.2

STEP DOWN ALL FOOTINGS AS REQUIRED TO ACHIEVE MIN. 2" GRADING COVER OVER ALL FOOTINGS. ALL FOOTINGS ON SLAB SHALL BE MIN. 2" GRADING COVER. ALL FOOTINGS ON GRADE SHALL BE MIN. 4" GRADING COVER. ALL FOOTINGS ON GRADE SHALL BE MIN. 4" GRADING COVER.

FOUNDATION PLAN
 1/4" = 1'-0"

2021 DUPLICATES FOR DWIGHT DOELLNER
 203 S WISCONSIN AVE. PLYMOUTH, WI
 DESIGNED BY JEFF HIBBARD DESIGN SERVICES
 DATE: 4/1/22

JEFF HIBBARD DESIGN SERVICES
 1004 OLDE ONIDA STREET
 APPLETON, WI 54915
 PHONE: (920) 731-2365

SHEET
 5



STAFF REPORT

To: Village of Pewaukee Plan Commission

By: Mary Censky

Date Prepared: May 12, 2022

General Information:

Agenda Item: **6.b.**

Applicant:

Aaron Matter d/b/a Matter X LLC

Property Owner:

BV-Pewaukee Ltd Partnership

Requested Action:

Review, discussion and possible approval of a Conditional Use Grant (CUG) for a continuum of care/senior living development project.

Current Zoning:

B-3 Office and Service Business District with Housing for the Elderly Overlay (HEO).

Proposed Zoning:

Same

Current Master Plan Classification:

Community Commercial

Surrounding Zoning/Land Use:

North: City of Pewaukee/Institutional use (i.e. church)
South: B-1 Community Business zoning and use.
East: City of Pewaukee/Single - Family Residential use.
West: B-1 Community Business zoning and use.

Project Area:

4.7 acres

Property Location:

Northwest corner of Swan Road and Hwy 164.

Discussion:

Housing for the elderly as independent living units, assisted living facilities and/or nursing homes is listed among the conditional uses that can be considered for approval in the B-3(HEO) zoning district.

The applicant seeks CUG approval from the Commission on the site plan, architecture, exterior lighting, landscaping and operating plan for a 141-unit, 168,902 square foot continuum of care type senior living development. The unit breakdown is 71 Independent Living Units (~50%), 53 Assisted Living Units (~38%), and 16 Memory Care Units (~11%). The Memory Care units include 2 units that are designated as "companion units". The Assisted living units are made up of studio, 1-bdrm small, 1-bdrm large and 2-bdrm type units. The independent living units are

made up of 1-bdrm, 1-bdrm+den, and 2-bdrm type units. Other amenities that space is set aside for within the plans include resident care spaces, resident gathering spaces (indoors and outdoors), swimming pool, wellness center, dining areas, and a theatre.

This development is intended for occupancy by persons aged 55 and older. Under the Village Code this means that at least 80 percent of the occupied units must be occupied by at least one person who is 55 years of age or older; the development must publish and adhere to policies and procedures that demonstrate this intent; and that the development must provide for verification of compliance as to these age related restrictions by reliable surveys and affidavits including, for instance, examples of the types of policies and procedures relevant to a determination of compliance with the requirement of clause.

As compared to the Village's basic spatial, bulk and design requirements for a development of this sort:

- Maximum Permitted Overall Density = 20 units per buildable acre with up to a 150 percent increase based upon relief being granted by the Plan Commission if, in considering the following, such an increase is justifiable:
 - Unique site conditions including topography, road access, storm water management use constraints and essential services.
 - Neighboring uses in proximity to single family residential property.
 - Parking managed through underground facilities.
 - Proximity to and reliance upon arterials and limited use of collector streets. Said streets must have a sufficient cross section and turning radii to accommodate the intensity of the use.
 - Does not unreasonably burden existing public infrastructure and services.
 - Is in conformity with the Village's Comprehensive Plan.
 - Must not conflict with the ambiance and character of the use of adjacent lands.
 - The availability of on-site amenities and services to reduce the need for off-site trips.
 - Such other project/development factors as the Village Plan Commission may determine, in the exercise of its reasonable discretion, that may reduce the perceived negative secondary effects of an increase in density above 20 units per buildable acre.

As to this proposal specifically, permitted density at 20 units per buildable acre = 94

As to this proposal specifically, 150% of permitted density = 141. Proposed total units = 141 (i.e., compliant subject to Planning Commission approval).

- Maximum Permitted Number of Independent Living Units = 50% of total units. *As to this proposal specifically, 50% of total units = 70.5. Proposed independent living units = 71 (i.e., ?compliant).*
- Maximum Building Floor Area Ratio = 40 percent. *Proposed = 29 percent (i.e., compliant).*
- Maximum Building Height = 52 feet allowed in HEO District. Maximum Building Height = 55 feet allowed in B-3 District. *Proposed = ~57.17 feet (i.e. noncompliant).*
- Minimum Building Setback from Street Right-of-Way/Front Property Lines = 50 feet. *Proposed = Exceptions proposed along Hwy. 164.*

- Minimum Building Setback from Side Lot Lines = 20 feet. ***Proposed = compliant.***
- Minimum Open space Ratio = 35/30 percent. ***Proposed = 47 percent (i.e., compliant).***
- Minimum Parking Lot and Drives Setback from Street Right-of-Way/Front Property Lines = 25 feet. ***Proposed plan = Compliant.***
- Minimum Parking Lot and Drives Setback from Side and Rear Lot Lines = 20 feet. ***Proposed plan = Compliant.***

Accounting for Sections 40.400.1(2) and 40.153 of the Code, the Planning Commission may, but is not compelled, to permit waivers/modifications to building location, floor area ratio, parking, landscaping, lot width, setback, offset, height, building size, lot size and open space regulations.

The building design calls for four occupied stories above grade and a below grade parking structure with space for up to 74 cars. Sixty-two (62) parking spaces are provided on-site, on-grade. The stall sizes and aisle widths of the plan comply with the Villages Code requirements. The one-way entry/exit points to the project align directly with the entry/exit points to Swan Road from the Broken Hill Subdivision located across the street.

Parking stalls required to serve this specific use-type isn't expressly identified in the Village Code. The applicant provides an informed basis, in the Traffic and Parking section of their Plan of Operation, upon which they conclude that 136 stalls will be adequate to service this use.

Architectural details are provided by the applicant. Section 40.447 of the Code provides the following as guidelines from which to consider the architectural qualities for new construction of multi-family (as well as commercial, industrial and institutional use) buildings:

- Building scale and mass. The relative proportion of a building to its neighboring existing buildings shall be maintained to the greatest extent possible when new buildings are built.
- Building rooflines and roof shapes. The visual continuity of roofs and their contributing elements (parapet walls, gables, coping, cornices, etc.) shall be maintained in building development or redevelopment. Heating, ventilation, air conditioning and other rooftop mechanical equipment must be appropriately screened from view.
- Materials. New retail and office building construction shall consist of quality materials such as brick, wood, stone and glass. New industrial building construction may also use decorative concrete block in addition to the above listed materials. The plan commission may, however, allow the use of metal building components, exterior finish insulation systems, and concrete block if incidental to the primary building architecture, screened from public view, or if used to reflect existing building architecture.
- Colors. Buildings shall generally reflect earth tone colors. Awnings, trim and window colors are allowed greater color latitude subject to plan commission approval.
- Building design and compatibility. Proposed office and retail building design shall reflect traditional architectural styles with gabled rooflines, interesting fenestration and human scale. Proposed industrial building design shall reflect contemporary standards of quality building design (e.g., Fall's Business Park, Brookfield Lakes Corporate Center, Pewaukee Woods and the Mequon Business Park). Extended expanses of walls shall be broken up with the use of creative pilasters, fenestration, soldier courses or elevation offsets.

In approving or disapproving proposed locations for uses under this overlay district, the Code guides the Planning Commission to give due consideration to the following:

- Character and suitability of the development in relationship to the area;
- Evidence as may be presented regarding traffic generation, heavy vehicular traffic impacts, ground water impact, impact upon existing sanitary sewage disposal system, existing roads, existing storm water management systems, and existing public water system, utilities limitations, soil limitations and the emission of noise, smoke, dust or dirt, odorous or noxious gases attributed to the proposed use.

To this end, the Code goes on to say that unless specifically waived by the Village Administrator or Planning Commission, all applications shall include among the supporting materials at the time of submittal, specific, expert, detailed impact analysis demonstrating clearly that there will be no adverse impacts upon, or reductions in the levels of service, in the areas as listed above. In this particular case, the Village's Consulting Engineer did specifically opine that, owing to the low traffic generation associated with this use-type, a traffic impact analysis would not be necessary at this time. Also, the utility and services and other impacts analysis (as listed above) have been done by the applicant and/or internally by the Village Staff and Consultants and none are found to be of great concern in this specific plan.

The landscaping plan submitted is thorough and well thought out. It generally meets, and in certain respects, exceeds the basic Code standards. The street tree caliper does not meet the minimum Code requirement of 2.5" caliper at one foot above grade.

No outdoor dumpster or trash receptacle area appears to be provided outdoors on the site so it's presumed that all trash will be contained indoors in the underground parking level of the building.

Exterior lighting fixtures proposed are generally compliant as to cutoff design. Exceptions include the more decorative fixtures such as the bollards and sconces which are fairly low output. Overall light dispersion is Code compliant in that it does not exceed .5 footcandles on the ground at the lot lines except to a minimal extent in the area along Swan Road and in the drive entry/exit areas of the site at the right-of-way.

HVAC location/screening and signage plans are not given at this stage in the project.

Recommendation:

If the Planning Commission is inclined toward an approval in this matter, the Planner recommends the following conditions be considered for attachment thereto:

- 1) Fire Department review and approval as to the serviceable of this project from a public safety standpoint;
- 2) Village Engineer review and approval of all grading, drainage, stormwater management, erosion control, street access, and utility plans offered in support of this project prior to issuance of any permit to begin site preparation and/or construction work on this site;
- 3) Village Staff review and approval of HVAC location and screening plans when the locations and fixtures have been settled upon by the developer and prior to placing the HVAC at the site;
- 4) Planning Commission review and approval of the detailed schedule of building materials and colors;
- 5) Planning Commission to provide express acknowledgement as to any areas where exception from the Code standards is requested and approved.



0 210.06 Feet

Notes: Matter Housing for the Elderly Site

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Village of Pewaukee Plan Commission
Engineer's Report for May 12, 2022

Pewaukee Senior Housing/Matter Development
Swan Road/STH 164

Report

- **Stormwater:** The stormwater pond is located in the northwest corner of the site. Discharge from the pond will be to an existing storm sewer that extends west under STH 164 and connects to the stormwater system in the STH 164 which flows to the north. The applicant will also be using a "blue roof" to store water and release it at a lower rate to accommodate additional stormwater storage capabilities. The Village's stormwater ordinance requires a 50 foot setback distance between the water elevation of the pond in the 100-year storm and any buildings that have human habitation. There is a provision in the code that allows applicants to request an exception if it meets certain criteria, those being that it is in-fill development less than 5 acres, has had no prior development and is surrounded by other developments. The applicant has made that request to the Village and after discussion with DPW Naze, I have responded that we would allow an exception to the 50 foot setback which would result in a 25-foot setback from the building. The internal roadways and parking areas will be curbed; therefore, private storm sewer is being proposed throughout the development, ultimately discharging into the stormwater pond. The stormwater management plan has been reviewed for conformance to Village Codes and we have provided the design engineer with comments which need to be addressed prior to engineering approval.
- **Site Grading:** The elevation of Swan Road at the center of the building is approximately 899. The elevation of STH 164 along the west elevation of the building varies from 893 (south) to 888 (north). The west building elevation is exposed and at an elevation of 891 to 895. The finish first floor elevation is proposed to be 898.4; the lower level elevation is proposed at 887.40 (the 100-year water elevation in the pond is proposed to be 884.86). So the building will be set slightly lower than the road grade on Swan Road. A swale along the STH 164 right-of-way will accommodate off-site water that used to flow directly west through the site, but is now proposed to be re-routed around the development to the south and to the pipe that crosses west under STH 164.
- **Sanitary Sewer and Water:** The site will be served by public sanitary sewer and water. The extension of the service will be from the west side of STH 164. The site has several fire hydrants on Swan Road and STH 164 from the City of Pewaukee water system. Since there is no need for additional hydrants, the extension of sanitary sewer and water serve mainly as private service laterals to the site.
- **Access/Traffic:** The entrance driveways line up with the ingress and egress roads of Broken Hill on the east side of Swan Road. Site distance to the entrances are acceptable. Staff has considered whether by-pass and turn lanes are needed at the entrance and have concluded that due to the limited amount of traffic projected for senior housing trips, no by-pass or turn lanes are required. Our traffic engineer has suggested that the entrance and exit be clearly marked to avoid confusion since they are one-way in and one-way out. Furthermore, the monument sign should be located close to the

entrance driveway to serve as a marker of the entrance. The fire department has requested large radii at the entrances and a 20 foot width to accommodate fire trucks. The applicant has accommodated the requests noted above in their current site plan.

Recommendation

Should the Plan Commission decide to proceed with the development, I recommend approval of the Civil Engineering plans Sheets C-1 to C-11 and stormwater management plan subject to the following conditions:

1. Resolution of all engineering review comments related to the stormwater management plan and site development plans provided to the developer's engineer dated May 3, 2022.
2. Determination of where the sanitary sewer and water service laterals change from public to private and determination of where a water meter needs to be located.

Tim Barbeau, PE, PLS
Village Consulting Engineer
May 3, 2022

May 3, 2022

Mr. Mark Seidl, P.E. (via email)
Pinnacle Engineering Group
20735 Watertown Road
Brookfield, WI 53186

Re: Pewaukee Senior Living
Matter Development and ICAP Development

Dear Mr. Seidl,

Below please find the engineering review comments for the stormwater management plan and civil engineering drawings for the subject project. My staff report will indicate a recommendation for approval subject to resolution of the items listed below and determination related to the public or private sewer and water service laterals.

1. Revise the narrative to reference the Village of Pewaukee rather than the City of Pewaukee.
2. Per 14.335(d)(6)i.2. of the Village code, "The structure shall be set back at least 50 feet horizontally from any storm water BMP that may temporarily or permanently store water at a depth of greater than one foot. Setback distance shall be measured from the closest edge of water at the elevation produced by the 100-year, 24-hour design storm". The exemption is being considered and will be addressed in a separate letter.
3. Per 40.445(h)(4) of the Village code, "The pond slope shall be no steeper than four feet horizontal to one foot vertical." The grading for the pond must be revised to conform with Village codes. The intent would be to maintain the height of the ground at the building wall adjacent to the pond as part of any exemption allowance.
4. Since the off-site area is woodland, a curve number of 70 should be used for Subcatchment 12S in the pre-development HydroCAD model, assuming that the soil is Type C similar to Subcatchment Ex A1. This same revision should be made in the post-development HydroCAD model to Subcatchment 9S.
5. Provide a time of concentration flow path on the Proposed Hydrology exhibit for Subcatchment 11S.
6. The plans need to show the emergency spillway. We are concerned that in a condition of a plugged outlet, the water will rise up close to the building. If an exemption is granted, we would want the spillway to be designed such that it does not rise up to the building wall. The spillway must be designed to address this potential situation and shown on the plans or in the report.
7. Include a hatch or other line work to visually show the area that will drain to the blue roof on the Proposed Hydrology exhibit.
8. Remove portions of the silt fence near the grading limits along STH 164 as it is currently located in the roadside ditch. Ditch checks should replace the silt fence to limit the velocity of the swale as well as sediment build up near the inlet. The silt fence can remain near the northwest corner and should be extended further northwest to the existing riprap.
9. Call out a Type A inlet protection for any yard drain inlets, specifically CB #109, as well as include a detail in the plan set.
10. Since the blue roof will be used to help meet peak flow requirements, more information is required regarding the design of the roof.
 - a. How was the head-discharge table determined that was used in HydroCAD?
 - b. Can a plan sheet provided to demonstrate the surface area of the roof used in the modeling?



Mr. Mark Seidl, P.E.
Page 2 / May 3, 2022

- c. Have structural considerations been taken to provide adequate support for the detained water?
11. Explain how the typical sump surface area for the catch basin practice was determined in WinSLAMM.
12. Since the project will be disturbing more than an acre, provide the DNR Construction Site Stormwater Permit (NOI) once it has been received.
13. Prepare a stormwater maintenance agreement using the Village's template, provided with this letter. Submit for Village review before obtaining signatures. Note that all exhibits included with the maintenance agreement should not exceed 8.5x14 inches in size and should be legible. Clearly define the BMP locations (pond, catch basins, and blue roof) and maintenance required for each within this document.
14. It appears that shrubs are planted in front of the FDC. Provide a minimum clear space of 36-inches surrounding the FDC connection.
15. The plans indicate a fire hydrant detail, but none are shown on the plans. Will a fire hydrant be installed?

Should you have any questions regarding the stormwater management comments, please contact Riley Stone at (262) 317-3269. Any other items can be directed to me.

Sincerely,

Timothy G. Barbeau, P.E., P.L.S.
Village of Pewaukee Consulting Engineer

c: Riley Stone (via email)



CREATIVITY BEYOND ENGINEERING

R.A. Smith, Inc.
16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000 | rasmith.com

May 3, 2022

Mr. Mark Seidl, P.E. (via email)
Pinnacle Engineering Group
20735 Watertown Road
Brookfield, WI 53186

Re: Pewaukee Senior Living
Matter Development and ICAP Development

Dear Mr. Seidl,

I have been designated by Dan Naze, Director of Public Works as the person to address your request for an exemption from Section 14.335(d)(6)i.2. of the Village Code which requires a 50 foot horizontal set back distance between the 100-year elevation of any storm water BMP and a structure.

Section 14.335 (e)(1) allows for technical exemptions if one or more criteria in 14.335 (e)(1) a.-c. apply. You have requested that the exemption be considered since it meets 14.335 (e)(1) c.2. "In-fill development areas less than 5 acres." You have correctly stated that the definition of "infill development" means land that development that occurs where there was no previous development and is surrounded by other existing land development. Furthermore in your letter dated April 27, 2022, you have indicated the proof that it is surrounded by other existing land development. Therefore, by meeting said criteria, I can consider your request.

In evaluating your request, I have considered the following facts:

- The 100-year pond elevation is 884.89 feet.
- The lowest ground grade along the building closest to the pond is 887.
- The floor elevation of the lowest level is 887.40
- The use of the lowest level of the proposed building is for underground parking and a mechanical room and there will be no residential units in the lower level.
- The Village planner desired that the building be set back from Swan Road as part of good and orderly planning of the site.
- The site is triangular in shape and provides challenges to fit rectangular building onto the triangular shape.
- The WDNR model stormwater ordinance does not require a 50 foot building setback.
- The spillway from the pond will flow to the proposed catch basin east of STH 164 and if the catch basin gets clogged, water will flow to the north.

Based on the known facts of the request and that the resulting setback is not being entirely eliminated, but instead reduced to 25 feet at the closest point, I am hereby granting the exemption from the Section 14.335(d)(6)i.2. of the code only to the extent that the distance between the 100-year surface water elevation and the building will be no less than 25 feet.



Mr. Mark Seidl, P.E.
Page 2 / May 3, 2022

Should you have any questions please contact me.

Sincerely,

A handwritten signature in cursive script that reads "Timothy G. Barbeau".

Timothy G. Barbeau, P.E., P.L.S.
Village of Pewaukee Consulting Engineer

c: Dan Naze, Director of Public Works, Village of Pewaukee (via email)

PLAN OF OPERATION

141-unit Senior Continuum of Care Community
NEC of Pewaukee Road & Swan Road, Village of Pewaukee

Application Submittal: April 20, 2022

Plan Commission: May 12, 2022

Matter Development (Matter) and ICAP Development (together “Developers”) propose a 141-unit senior continuum of care community (the “Project”) to be located on the 4.72 acre parcel at the northeast corner of Pewaukee Road and Swan Road (the “Property”). The Property is currently zoned B3 – Housing for the Elderly Overlay which permits a senior living development with approval of a conditional use. The Project would include a mix of independent living (IL), assisted living (AL), and memory care (MC) units. Below is a breakdown of the total number of units:

Unit Type	Units
Independent Living	70
Assisted Living RCAC	45
Assisted Living CBRF	10
Memory Care CBRF	16
Total	141

Developers presented the Project at a Conceptual Review presentation before the Plan Commission on March 10, 2022. The attached submittal and narrative address the comments of Commissioners and Village Staff that were made during Conceptual Review and in subsequent discussions with Village Staff.

DEVELOPMENT TEAM BACKGROUND

Developers have extensive experience in the development and operation of senior housing communities. Most recently, in October 2020, Matter completed the successful opening and stabilization of Evin at Oconomowoc, a similar senior continuum of care community at 1101 Silver Lake Street in Oconomowoc, WI. (www.evinsenior.com)

The proposed Pewaukee community will be operated by Wauwatosa-based senior living operator Koru Health (Koru), an entity affiliated with Matter. Koru, as the preferred operator for Matter, is a rapidly growing company managing over 400 units of IL, AL, and MC for the partnership. The principals of Matter and Koru have been working together for more than 13-years, including for some of the largest senior living developer/owner/operators in the Midwest.

PROJECT OUTLINE

The Property is ideally located for senior living with excellent regional connectivity (I-94) and access to a vibrant and powerful commercial corridor, including:

141-unit Senior Continuum of Care Community
NEC Pewaukee Road & Swan Road, Pewaukee

- Personal laundry and linens;
- Housekeeping;
- Activity and wellness programming

The Project is proposed to be licensed with the State of Wisconsin Department of Health (DHS) as a Residential Care Apartment Complex (RCAC) and a Class C (CNA) community-based residential facility (CBRF) that allows for the greatest level of long-term care flexibility.

Following is an outline of the key factors of the proposed development:

- **ARCHITECTURE** – Galbraith Carnahan Architects

The Project includes four-stories and a single-story memory care wing to the south. The architecture is approachable and bright and follows a “contemporary farmhouse” aesthetic. Architecture in the area was surveyed in advance to create harmony by responding to nearby architectural precedent. Appropriately placed uniform architectural elements give appeal to the building from all angles. The building exterior includes natural materials: brick, horizontal lap siding, vertical shake siding, and accent boards and brackets. The shape of the building provides numerous opportunities for resident patios and courtyards. IL/AL units that face the wooded area on the north boundary of the site feature balconies/patios with natural views and provide depth and shadow around the building. The roofline changes around the structure to create variation and includes forward-facing gables with asphalt shingles and strategically-placed shed dormers accented with shake, trim, and brackets.

- **CIVIL & SITE PLAN** – Pinnacle Engineering

The proposed site plan accounts for the topography and site conditions and positions the building principally on the west portion of the Property.

Access to the site is proposed via a single access point on Swan Road with separate entrance and exit drives to align with the Broken Hill subdivision on the east side of Swan Road (in the City of Pewaukee).

Stormwater will be managed for quality and quantity through a series of storm sewers, swales, and a wet pond.

- **LANDSCAPING** – Pinnacle Engineering

Significant landscaping throughout the site shall include foundation plantings at base of building, street trees along Pewaukee Road and Swan Road, a landscaped and hardscaped courtyard for MC resident’s enjoyment, and baseline planting requirements that meet the requirements of the Pewaukee Zoning Code.

141-unit Senior Continuum of Care Community
NEC Pewaukee Road & Swan Road, Pewaukee

TRAFFIC AND PARKING

The Project's location along Pewaukee Road provides access to a major arterial road which can handle the minimal increased traffic generated by the proposed use.

Developers and Operator have significant experience operating senior living communities, and based on that experience, parking demand is a function of resident need, staffing ratios (and staggered shift turnover), and visitor/vendor requirements.

The proposed parking lots are located both underground, and surface lots at the front and south of the building and includes a total of 136-stalls (with three ADA-parks). The underground parking includes 74 stalls for residents, and the surface parking lots include 62 stalls for residents, staff, visitors, and vendors.

- **Residents:** There is one (1) underground parking stall for every IL unit. Very few AL residents drive cars. Average similar projects have a parking need for at most one (1) stall for every ten (10) RCAC residents (4.50 total stalls). CBRF and MC residents are no longer able to drive, so we have assumed no resident parking stalls are required for those 26-units.
- **Staff:** The Operating Program for the entire building includes up to 28 staff members. As shown in the summary chart below, peak parking demand will occur around 3:00-3:30pm, as the afternoon shift turns over. With staggered shifts, seven (7) additional staff arrive at the building at 3:00 and seven (7) at 3:30, so it is anticipated that maximum staff parking demand will be 35-stalls. The maximum staff parking demand occurs for a very short period of time, and then the total staff parking need will reduce to approximately 14 stalls for the evening shift.

Time	Morning Shift	Shift Turnover	Evening Shift
Max Staff Parking	28	5	14

- **Other:** After accounting for 75 resident parking stalls and 28 staff parking stalls, that leaves a balance of 33 parking stalls for visitors, vendors, and peak variance, which will be sufficient for daily off-street parking.

DELIVERIES

Deliveries to the building will be infrequently made, and will approach the commercial kitchen and facilities access point at the southeast corner of the building. Most deliveries will be made by van or short box truck and are anticipated to include daily mail/UPS/Fed-Ex, trash pick-up (from the underground parking garage), and food/supplies delivery. Each of the foregoing deliveries are anticipated 1-2 times per week, depending on the needs of the building's operation. Food deliveries are typically made twice per week, and supplies are typically delivered once per month.

141-unit Senior Continuum of Care Community
NEC Pewaukee Road & Swan Road, Pewaukee

The Fire Department is located nearby and will review public safety code requirements prior to beginning construction.

2. *The proposed use should not injure the value of adjoining or abutting property.*

Surrounding uses include high density commercial, institutional (church) and a single-family subdivision (in the City of Pewaukee). The proposed use as a senior living community will have less impact on surrounding properties than the existing surrounding commercial uses and is a good buffering use between the single-family and commercial district.

3. *The proposed use shall be harmonious or compatible with the area in which it is located.*

The area currently consists of commercial uses, retail, single family residential, and institutional uses. The location along Pewaukee Road provides access to a major arterial road which can handle the minimal increased traffic generated by the proposed use. The Village of Pewaukee has other examples of senior living communities in similar locations, including Cecelia Place, Matthews, and Kirkland Crossings which shows that the use will be compatible with other surrounding land uses.

4. *The proposed use shall be in general conformity with the land use plan, transportation plan, environmental plan, park and recreational plan, or other officially adopted plan.*

The Village of Pewaukee land use plan includes the site as B3 with a Housing for the Elderly Overlay, which allows the development of senior housing with approval of a conditional use permit.



PEWAUKEE SENIOR LIVING

04.20.22
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04.20.22
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PEWAUKEE SENIOR LIVING
 PEWAUKEE ROAD (HWY 164) & SWAN ROAD PEWAUKEE, WI, 53072

Drawn: BSJ
 PLAN COMMISSION: 04.20.2022

PROJECT # 21.50

LOWER LEVEL
 FLOOR PLAN

A100



LOWER LEVEL
 SCALE 3/32" = 1'-0"

WALL TYPE LEGEND

	NEW WALL
	EXISTING WALL TO REMAIN

FLOOR PLAN - GENERAL NOTES

- IF ANY PORTION OF THE CONSTRUCTION DOCUMENTS ARE UNCLEAR, INCOMPLETE IN THEIR DIRECTION, OR CONFLICTS WITH OTHER PORTIONS OF THE WORK, PLEASE NOTIFY THE ARCHITECT PRIOR TO EXECUTING THAT WORK.
- NOTIFY ARCHITECT PROMPTLY IF THE CONSTRUCTION DOCUMENTS ARE INCONSISTENT WITH ANY APPLICABLE CODES OR REGULATIONS.
- INSTALL BLOCKING IN WALLS, CEILING AND FLOORS AS REQUIRED FOR THE ATTACHMENT OF ANY ITEMS OR EQUIPMENT SHOWN IN THE CONSTRUCTION DOCUMENTS.
- REFER TO STRUCTURAL PLANS, FOR FRAMING SIZE & ORIENTATION.
- CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO EXECUTION OF WORK.
- TYPICAL FLOOR PLAN DIMENSIONS ARE SHOWN TO THE FACE OF STUDS UNLESS NOTED OTHERWISE.
- COORDINATE EXACT LOCATION OF LIGHT FIXTURES, ACCESS PANELS, SPEAKERS, HVAC DUCTS, SMOKE SUPPRESSORS AND OTHER SUCH CEILING ITEMS WITH MECHANICAL, ELECTRICAL, AND OTHER PERTINENT TRADES. NOTIFY ARCHITECT IF ANY LOCATIONS OR CONDITIONS CONFLICT WITH THE DESIGN INTENT SHOWN IN THESE CONSTRUCTION DOCUMENTS.
- SEE SHEET A880 FOR WALL, FLOOR, AND ROOF ASSEMBLY TYPES.
- SEE SHEET A880 AND A801 FOR DOOR AND WINDOW TYPES.

NOT FOR CONSTRUCTION

PEWAUKEE SENIOR LIVING
PEWAUKEE ROAD (HWY 164) & SWAN ROAD PEWAUKEE, WI, 53072

Drawn: 08/22 04/25/2022
Plan Commission: 04/25/2022

PROJECT # 21.50

FIRST FLOOR PLAN

A101



58,426 sq ft

FIRST FLOOR
SCALE 1/8" = 1'-0"

WALL TYPE LEGEND

NEW WALL
EXISTING WALL TO REMAIN

FLOOR PLAN - GENERAL NOTES

- IF ANY PORTION OF THE CONSTRUCTION DOCUMENTS ARE UNCLEAR, INCOMPLETE IN THEIR DIRECTION, OR CONFLICTS WITH OTHER PORTIONS OF THE WORK, PLEASE NOTIFY THE ARCHITECT PRIOR TO EXECUTING THAT WORK.
- NOTIFY ARCHITECT PROMPTLY IF THE CONSTRUCTION DOCUMENTS ARE INCONSISTENT WITH ANY APPLICABLE CODES OR REGULATIONS.
- METAL BLOCKING IN WALLS, CEILING AND FLOORS AS REQUIRED FOR THE ATTACHMENT OF ANY ITEMS OR EQUIPMENT SHOWN IN THE CONSTRUCTION DOCUMENTS.
- REFER TO STRUCTURAL PLANS FOR FRAMING SIZE & ORIENTATION.
- CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO EXECUTION OF WORK.
- TYPICAL FLOOR PLAN DIMENSIONS ARE SHOWN TO THE FACE OF STUDS UNLESS NOTED OTHERWISE.
- COORDINATE EXACT LOCATION OF LIGHT FIXTURES, ACCESS PANELS, SPEAKERS, HVAC DUCTS, SHIELDS, DIFFUSERS AND OTHER SUCH CEILING ITEMS WITH MECHANICAL, ELECTRICAL AND OTHER PERTINENT TRADES. NOTIFY ARCHITECT IF ANY LOCATIONS OR CONDITIONS CONFLICT WITH THE DESIGN INTENT SHOWN IN THESE CONSTRUCTION DOCUMENTS.
- SEE SHEET A80 FOR WALL, FLOOR, AND ROOF ASSEMBLY TYPES.
- SEE SHEET A80 AND A81 FOR DOOR AND WINDOW TYPES.

NOT FOR CONSTRUCTION

PEWAUKEE SENIOR LIVING
PEWAUKEE ROAD (HWY 164) & SWAN ROAD PEWAUKEE, WI, 53072

DRAWING TITLE: 2150
PLAN COMMISSION: 04.20.2022

PROJECT # 2150

SECOND FLOOR PLAN

A102



37,548 sq ft

SECOND FLOOR
SCALE 3/32" = 1'-0"

WALL TYPE LEGEND

	NEW WALL
	EXISTING WALL TO REMAIN

- FLOOR PLAN - GENERAL NOTES**
- IF ANY PORTION OF THE CONSTRUCTION DOCUMENTS ARE UNCLEAR, INCOMPLETE IN THEIR DIRECTION, OR CONFLICTS WITH OTHER PORTIONS OF THE WORK, PLEASE NOTIFY THE ARCHITECT PRIOR TO EXECUTING THAT WORK.
 - NOTIFY ARCHITECT PROMPTLY IF THE CONSTRUCTION DOCUMENTS ARE INCONSISTENT WITH ANY APPLICABLE CODES OR REGULATIONS.
 - INSTALL BLOCKING IN WALLS, CEILING AND FLOORS AS REQUIRED FOR THE ATTACHMENT OF ANY ITEMS OR EQUIPMENT SHOWN IN THE CONSTRUCTION DOCUMENTS.
 - REFER TO STRUCTURAL PLANS, FOR FRAMING SIZE & ORIENTATION.
 - CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO EXECUTION OF WORK.
 - TYPICAL FLOOR PLAN DIMENSIONS ARE SHOWN TO THE FACE OF STUDS, UNLESS NOTED OTHERWISE.
 - COORDINATE EXACT LOCATION OF LIGHT FIXTURES, ACCESS PANELS, SPEAKERS, HVAC DUCTS, SPRINKLERS, DRIP TRAYS AND OTHER SUCH CEILING ITEMS WITH MECHANICAL, ELECTRICAL, AND OTHER PERTINENT TRADES. NOTIFY ARCHITECT IF ANY LOCATIONS OR CONDITIONS CONFLICT WITH THE DESIGN INTENT SHOWN IN THESE CONSTRUCTION DOCUMENTS.
 - SEE SHEET A850 FOR WALL, FLOOR, AND ROOF ASSEMBLY TYPES.
 - SEE SHEET A850 AND A801 FOR DOOR AND WINDOW TYPES.

NOT FOR CONSTRUCTION

PEWAUKEE SENIOR LIVING
 PEWAUKEE ROAD (HWY 164) & SWAN ROAD PEWAUKEE, WI, 53072

DATE: 04.20.2022
 PLAN COMMISSION

PROJECT # 21.50

THIRD FLOOR PLAN

A103



37,535 sq ft

THIRD FLOOR
 SCALE 3/32" = 1'-0"

WALL TYPE LEGEND

	NEW WALL
	EXISTING WALL TO REMAIN

FLOOR PLAN - GENERAL NOTES

- IF ANY PORTION OF THE CONSTRUCTION DOCUMENTS ARE UNCLEAR, INCOMPLETE IN THEIR DIRECTION, OR CONFLICTS WITH OTHER PORTIONS OF THE WORK, PLEASE NOTIFY THE ARCHITECT PRIOR TO EXECUTING THAT WORK.
- NOTIFY ARCHITECT PROMPTLY IF THE CONSTRUCTION DOCUMENTS ARE INCONSISTENT WITH ANY APPLICABLE CODES OR REGULATIONS.
- INSTALL BLOCKING IN WALLS, CEILING AND FLOORS AS REQUIRED FOR THE ATTACHMENT OF ANY ITEMS OR EQUIPMENT SHOWN IN THE CONSTRUCTION DOCUMENTS.
- REFER TO STRUCTURAL PLANS FOR FRAMING SIZE AND ORIENTATION.
- CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO EXECUTION OF WORK.
- TYPICAL FLOOR PLAN DIMENSIONS ARE SHOWN TO THE FACE OF STUDS, UNLESS NOTED OTHERWISE.
- COORDINATE EXACT LOCATION OF LIGHT FIXTURES, ACCESS PANELS, SPEAKERS, HVAC SUCTS, GRILLS, DRIPSCANS AND OTHER SUCH CEILING ITEMS WITH MECHANICAL, ELECTRICAL, AND OTHER PERTINENT TRADES. NOTIFY ARCHITECT IF ANY LOCATIONS OR CONDITIONS CONFLICT WITH THE DESIGN INTENT SHOWN IN THESE CONSTRUCTION DOCUMENTS.
- SEE SHEET A100 FOR WALL, FLOOR, AND ROOF ASSEMBLY TYPES.
- SEE SHEET A100 AND A101 FOR DOOR AND WINDOW TYPES.

NOT FOR CONSTRUCTION

PEWAUKEE SENIOR LIVING
 PEWAUKEE ROAD (HWY 164) & SWAN ROAD PEWAUKEE, WI, 53072

DATE: 04.20.2022
 PLAN: COMMISSION

PROJECT # 21.50

FOURTH FLOOR PLAN

A104



35,393 sq ft

FOURTH FLOOR
 SCALE: 3/32" = 1'-0"

WALL TYPE LEGEND

	NEW WALL
	EXISTING WALL TO REMAIN

FLOOR PLAN - GENERAL NOTES

- IF ANY PORTION OF THE CONSTRUCTION DOCUMENTS ARE UNCLEAR, INCOMPLETE IN THEIR DIRECTION, OR CONFLICTS WITH OTHER PORTIONS OF THE WORK, PLEASE NOTIFY THE ARCHITECT PRIOR TO EXECUTING THAT WORK.
- NOTIFY ARCHITECT PROMPTLY IF THE CONSTRUCTION DOCUMENTS ARE INCONSISTENT WITH ANY APPLICABLE CODES OR REGULATIONS.
- INSTALL BLOCKING IN WALLS, CEILING AND FLOORS AS REQUIRED FOR THE ATTACHMENT OF ANY ITEMS OR EQUIPMENT SHOWN IN THE CONSTRUCTION DOCUMENTS.
- REFER TO STRUCTURAL PLANS FOR FRAMING SIZE & ORIENTATION.
- CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO EXECUTION OF WORK.
- TYPICAL FLOOR PLAN DIMENSIONS ARE SHOWN TO THE FACE OF STUDS, UNLESS NOTED OTHERWISE.
- COORDINATE EXACT LOCATION OF LIGHT FIXTURES, ACCESS PANELS, SPEAKERS, HVAC DUCTS, GRILLS, DIFFUSERS AND OTHER SUCH CEILING ITEMS WITH MECHANICAL, ELECTRICAL, AND OTHER PERTINENT TRADES. NOTIFY ARCHITECT IF ANY LOCATIONS OR CONDITIONS CONFLICT WITH THE DESIGN INTENT SHOWN IN THESE CONSTRUCTION DOCUMENTS.
- SEE SHEET A100 FOR WALL, FLOOR, AND ROOF ASSEMBLY TYPES.
- SEE SHEET A100 AND A101 FOR DOOR AND WINDOW TYPES.

NOT FOR CONSTRUCTION



GALBRAITH CARNAHAN ARCHITECTS
640 West North Avenue
Milwaukee, Wisconsin 53211
(414) 291-0772 phone
www.galbraithcarnahan.com



1 WEST ELEVATION
SCALE 1/16" = 1'-0"



2 INSIDE EAST ELEVATION
SCALE 1/16" = 1'-0"



3 INSIDE WEST ELEVATION
SCALE 1/16" = 1'-0"



4 EAST ELEVATION
SCALE 1/16" = 1'-0"

PEWAUKEE SENIOR LIVING
PEWAUKEE ROAD (HWY 164) & SWAN ROAD PEWAUKEE, WI, 53072

ISSUED FOR
PLAN COMMISSION 04.28.2022

PROJECT # 2150

ELEVATIONS

A200

NOT FOR CONSTRUCTION

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1001 MEMORY CARE SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



1002 MEMORY CARE EAST ELEVATION
 SCALE: 1/8" = 1'-0"



1003 MEMORY CARE NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



1004 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



1005 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

PEWAUKEE SENIOR LIVING
 PEWAUKEE ROAD (HWY 164) & SWAN ROAD PEWAUKEE, WI, 53072

DATE: 04.20.2022
 PLAN COMMISSION

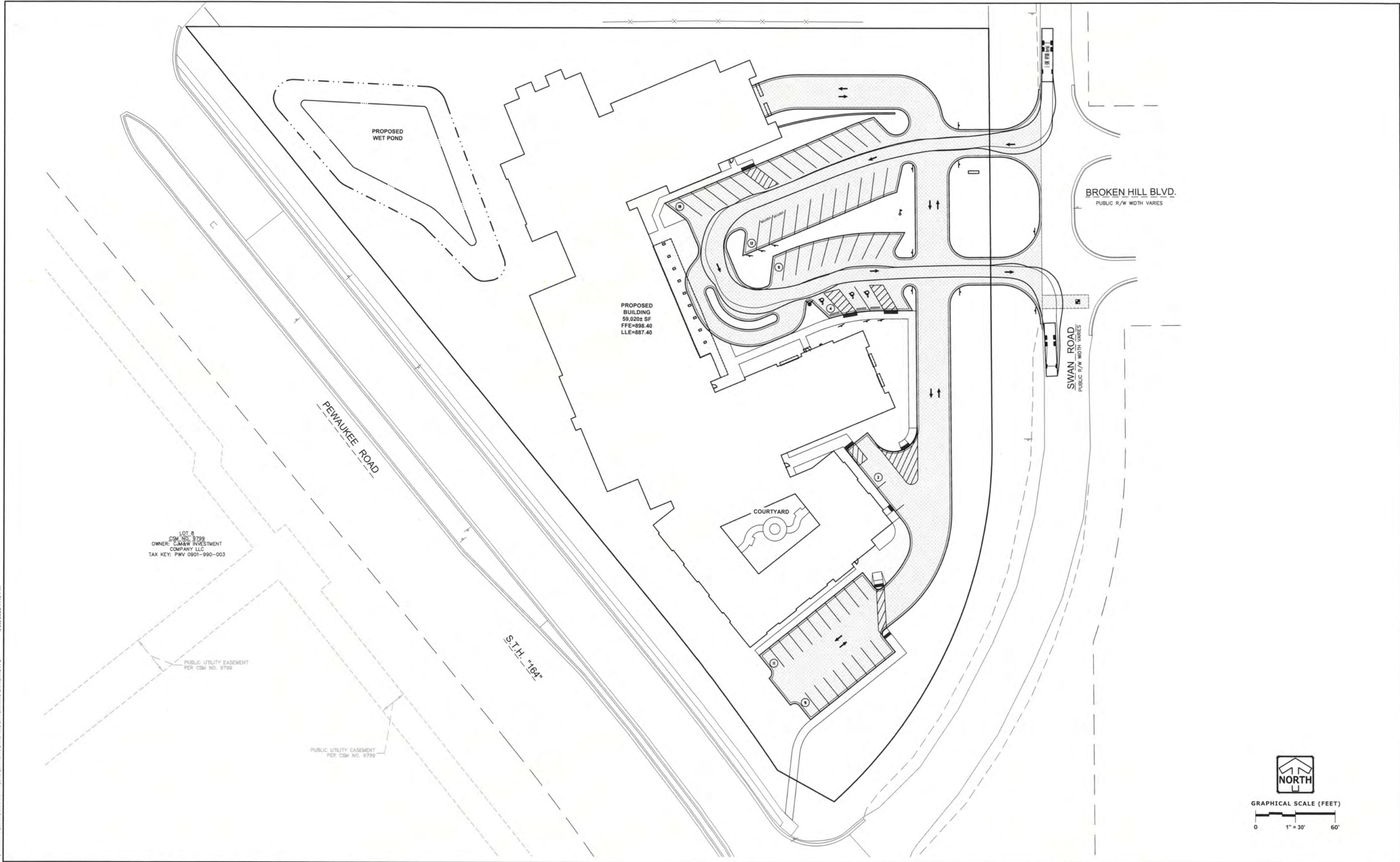
PROJECT # 21.50

ELEVATIONS

A201

NOT FOR CONSTRUCTION

Z:\PROJECTS\2020\1910.00-WI\CAD\EXHIBITS\FIRE TRUCK TURNING EXHIBIT.DWG 4/18/2022 7:45 PM



LOT 8
 CSM NO. 9799
 OWNER: C&M INVESTMENT
 COMPANY LLC
 TAX KEY: PWV 0901-990-003

PUBLIC UTILITY EASEMENT
 PER CSM NO. 9799

PUBLIC UTILITY EASEMENT
 PER CSM NO. 9799

PROPOSED
 BUILDING
 59,020 SF
 FFE=898.40
 LLE=887.40

BROKEN HILL BLVD.
 PUBLIC R/W WIDTH VARIES

SWAN ROAD
 PUBLIC R/W WIDTH VARIES

COURTYARD

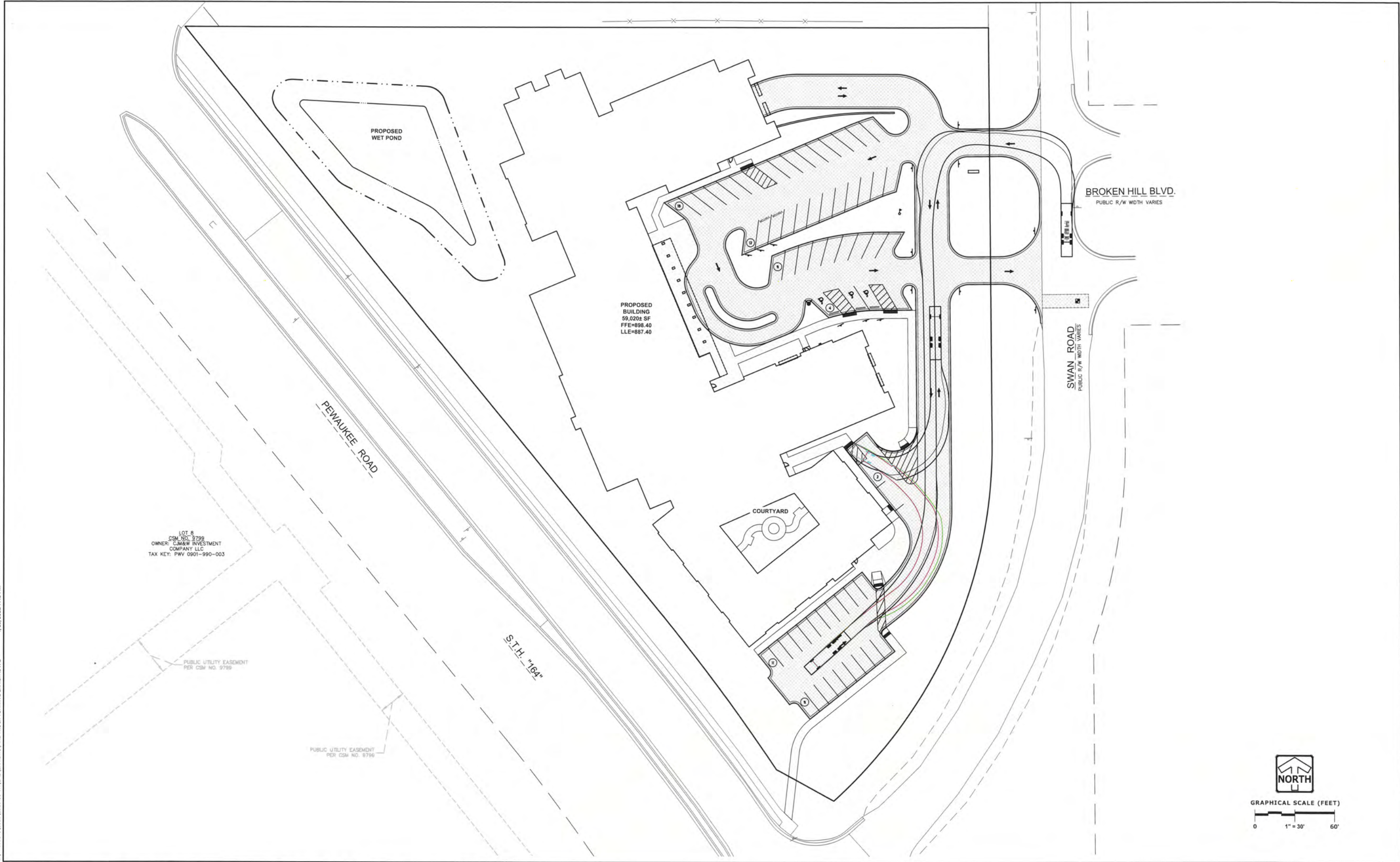
PEWAUKEE ROAD

S.T.H. "164"



GRAPHICAL SCALE (FEET)
 0 1" = 30' 60'

Z:\PROJECTS\2020\1910.00-WI\CAD\EXHIBITS\FIRE TRUCK TURNING EXHIBIT.DWG 4/18/2022 7:45 PM



ONSITE CIVIL ENGINEERING INFRASTRUCTURE PLANS
FOR
PEWAUKEE SENIOR LIVING

NE CORNER OF HWY 164 & SWAN RD

PLANS PREPARED FOR

MATTER DEVELOPMENT AND ICAP DEVELOPMENT

6404 W. NORTH AVE
WAUWATOSA, WI 53213

INDEX OF SHEETS	
C-1	COVER SHEET
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C-6	SPOT GRADE PLAN
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C-9	SANITARY & WATERMAIN PLAN
C-10	CONSTRUCTION DETAILS
C-11	CONSTRUCTION DETAILS



LEGEND		
	EXISTING	PROPOSED
SANITARY SEWER MANHOLE	⊙	⊙
STORM SEWER MANHOLE	⊙	⊙
STORM SEWER AREA DRAIN	—	—
STORM SEWER INLET (ROUND CASTING)	⊙	⊙
STORM SEWER INLET (RECTANGULAR CASTING)	⊙	⊙
PRECAST FLARED END SECTION	—	—
CONCRETE HEADWALL	—	—
VALVE VAULT	⊙	⊙
VALVE BOX	⊙	⊙
FIRE HYDRANT	⊙	⊙
BUFFALO BOX	⊙	⊙
CLEANOUT	⊙	⊙
SANITARY SEWER	—	—
FORCE MAIN	—	—
STORM SEWER	—	—
DRAIN TILE	—	—
WATER MAIN	—	—
UTILITY CROSSING	—	—
LIGHTING	—	—
ELECTRICAL CABLE	—	—
OVERHEAD WIRES	—	—
CAUTION EXISTING UTILITIES NEARBY	—	—
ELECTRICAL TRANSFORMER OR PEDESTAL	⊙	⊙
POWER POLE	⊙	⊙
POWER POLE WITH LIGHT	⊙	⊙
STREET SIGN	—	—
GAS MAIN	—	—
TELEPHONE LINE	—	—
EDGEOUR	—	—
SPOT ELEVATION	⊙	⊙
WETLANDS	—	—
FLOODWAY	—	—
FLOODPLAIN	—	—
HIGH WATER LEVEL (HWL)	—	—
NORMAL WATER LEVEL (NWL)	—	—
DIRECTION OF SURFACE FLOW	—	—
DITCH OR SWALE	—	—
DIVERSION SWALE	—	—
OVERFLOW RELIEF ROUTING	—	—
TREE WITH TRUNK SIZE	—	—
SOIL BORING	—	—
TOPSOIL PROFILE	—	—
FENCE LINE, TEMPORARY SILT	—	—
FENCE LINE, WIRE	—	—
FENCE LINE, CHAIN LINK OR IRON	—	—
FENCE LINE, WOOD OR PLASTIC	—	—
CONCRETE SIDEWALK	—	—
CURB AND GUTTER	—	—
DEPRESSED CURB	—	—
REVERSE FITCH CURB & GUTTER	—	—
EASEMENT LINE	—	—

ABBREVIATIONS			
BL	BASE LINE	NWL	NORMAL WATER LEVEL
C	LONG CHORD OF CURVE	PC	POINT OF CURVATURE
C & G	CHASE AND GUTTER	PT	POINT OF TANGENCY
CB	CATCH BASIN	PVI	POINT OF VERTICAL INTERSECTION
CL	CENTERLINE	R	RADIUS
D	DEGREE OF CURVE	ROW	RIGHT-OF-WAY
EP	EDGE OF PAVEMENT	SAW	SANITARY SEWER
FF	FINISHED FLOOR	ST	STORM SEWER
FS	FINISHED GRADE	T	TANGENCY OF CURVE
FL	FLOW LINE	TB	TOP OF BANK
FP	FLOODPLAIN	TC	TOP OF CURVE
FR	FRAME	TF	TOP OF FOUNDATION
FW	FLOODWAY	TF	TOP OF FIRE
HWL	HIGH WATER LEVEL	TS	TOP OF SIDEWALK
INV	INVERT	TW	TOP OF WALK
L	LENGTH OF CURVE	WH	WATER MAIN
MV	MANHOLE	∠	INTERSECTION ANGLE
NTS	NOT TO SCALE		

GENERAL NOTES	
1. THE INTENTION OF THE PLANS AND SPECIFICATIONS IS TO SET FORTH PERFORMANCE AND CONSTRUCTION MATERIAL STANDARDS FOR THE PROPER EXECUTION OF WORK. ALL WORKS CONTAINED WITHIN THE PLANS AND SPECIFICATIONS SHALL BE COMPLETED IN ACCORDANCE WITH ALL REQUIREMENTS FROM LOCAL, STATE, FEDERAL OR OTHER GOVERNING AGENCIES LAWS, REGULATIONS, JURISDICTIONAL ORDINANCES, CODES/RULES, ETC., AND THE OWNER'S DIRECTION.	5. COMMENCEMENT OF CONSTRUCTION SHALL EXPLICITLY CONFIRM THAT THE CONTRACTOR HAS REVIEWED THE PLANS AND SPECIFICATIONS IN ENTIRETY AND CERTIFIES THAT THEIR SUBMITTED BID PROPOSAL CONTAINS PROVISIONS TO COMPLETE THE PROJECT, WITH THE EXCEPTION OF UNFORESEEN FIELD CONDITIONS. ALL APPLICABLE PERMITS HAVE BEEN OBTAINED, AND CONTRACTOR UNDERSTANDS ALL OF THE REQUIREMENTS OF THE PROJECT.
2. A GEOTECHNICAL REPORT DATED DECEMBER 20, 2021 HAS BEEN PREPARED BY GILES ENGINEERING ASSOCIATES, INC. FOR THE PROJECT SITE. THE DATA ON SUB-SURFACE SOIL CONDITIONS IS NOT INTENDED AS A REPRESENTATION OR WARRANTY OF THE CONTINUALITY OF SUCH CONDITIONS BETWEEN BORINGS OR INDICATED SAMPLING LOCATIONS. IT SHALL BE EXPRESSLY UNDERSTOOD THAT OWNER WILL NOT BE RESPONSIBLE FOR ANY INTERPRETATIONS OR CONCLUSIONS DRAWN THERE FROM BY THE CONTRACTOR. DATA IS MADE AVAILABLE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ANY ADDITIONAL SOILS INVESTIGATIONS THEY FEEL IS NECESSARY FOR THE PROPER EVALUATION OF THE SITE FOR PURPOSES OF PLANNING, BIDDING, OR CONSTRUCTING THE PROJECT AT NO ADDITIONAL COST TO THE OWNER.	6. SHOULD ANY DISCREPANCIES OR CONFLICTS IN THE PLANS OR SPECIFICATIONS BE DISCOVERED AFTER THE AWARD OF CONTRACT, ENGINEER SHALL BE NOTIFIED IN WRITING IMMEDIATELY AND CONTINUE OF ITEMS AFFECTED BY THE DISCREPANCIES/CONFLICTS SHALL NOT COMMENCE OR CONSTRUCTION, UNTIL A WRITTEN RESPONSE FROM ENGINEER/OWNER IS DISTRIBUTED. IN THE EVENT OF A CONFLICT BETWEEN REFERENCED CODES, STANDARDS, SPECIFICATIONS AND PLANS, THE ONE ESTABLISHING THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED.
3. THE CONTRACTOR IS RESPONSIBLE TO REVIEW AND UNDERSTAND ALL COMPONENTS OF THE PLANS AND SPECIFICATIONS, INCLUDING FIELD VERIFYING SOIL CONDITIONS, PRIOR TO SUBMISSION OF A BID PROPOSAL.	7. THE CONTRACTOR SHALL, AT ITS OWN EXPENSE, OBTAIN ALL NECESSARY PERMITS AND LICENSES TO COMPLETE THE PROJECT, OBTAINING PERMITS, OR DELAYS, IS NOT CAUSE FOR DELAY OF THE CONTRACT OR SCHEDULE. CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS.
4. THE CONTRACTOR SHALL PROMPTLY REPORT ANY ERRORS OR AMBIGUITIES LEARNED AS PART OF THEIR REVIEW OF PLANS, SPECIFICATIONS, REPORTS AND FIELD INVESTIGATIONS.	8. THE CONTRACTOR SHALL NOTIFY ALL INTERESTED GOVERNING AGENCIES, UTILITY COMPANIES AFFECTED BY THIS CONSTRUCTION PROJECT AND DIGGERS HOTLINE IN ADVANCE OF CONSTRUCTION TO COMPLY WITH ALL JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., PERMIT STIPULATIONS, AND OTHER APPLICABLE STANDARDS.
5. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE COMPUTATION OF QUANTITIES AND WORK REQUIRED TO COMPLETE THIS PROJECT. THE CONTRACTOR'S BID SHALL BE BASED ON ITS OWN COMPUTATIONS AND IN NO SUCH INSTANCE RELY ON THE ENGINEER'S ESTIMATE.	9. SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE TO INITIATE, INSTITUTE, ENFORCE, MAINTAIN, AND SUPERVISE ALL SAFETY PRECAUTIONS AND JOB SITE SAFETY PROGRAMS IN CONNECTION WITH THE WORK.
6. QUESTIONS/CLARIFICATIONS WILL BE INTERPRETTED BY ENGINEER/OWNER PRIOR TO THE AWARD OF CONTRACT. ENGINEER/OWNER WILL SUBMIT OFFICIAL RESPONSES IN WRITINGS. INTERPRETATIONS PRESENTED IN OFFICIAL RESPONSES SHALL BE BINDING ON ALL PARTIES ASSOCIATED WITH THE CONTRACT. IN NO WAY SHALL WORD-OF-MOUTH DIALOG CONSTITUTE AN OFFICIAL RESPONSE.	10. CONTRACTOR SHALL KEEP THE JOBSITE CLEAN AND ORDERLY AT ALL TIMES. ALL LOCATIONS OF THE SITE SHALL BE KEPT IN A WORKING MANNER SUCH THAT DEBRIS IS REMOVED CONTINUOUSLY AND ALL RESPECTIVE CONTRACTORS OPERATE UNDER GENERAL "GOOD HOUSEKEEPING."
7. PRIOR TO START OF WORK, CONTRACTOR SHALL BE COMPLETELY FAMILIAR WITH ALL CONDITIONS OF THE SITE, AND SHALL ACCOUNT FOR CONDITIONS THAT AFFECT, OR MAY AFFECT CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LIMITATIONS OF WORK ACCESS, SPACE LIMITATIONS, OVERHEAD OBSTRUCTIONS, TRAFFIC PATTERNS, LOCAL REQUIREMENTS, ADJACENT ACTIVITIES, ETC. FAILURE TO CONSIDER SITE CONDITIONS SHALL NOT BE CAUSE FOR CLAIM OF JOB EXTRAS.	11. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, ENGINEER, AND THEIR AGENTS FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.

PROJECT TEAM CONTACTS	
CIVIL ENGINEER: MARK SEEL, P.E. PINNACLE ENGINEERING GROUP 20725 WATERTOWN ROAD, SUITE 100 BROOKFIELD, WI 53186 MAIN: (262) 754-8888 E-MAIL: mseel@pinnacle-engr.com	DEVELOPER: AARON R. MATTER MATTER DEVELOPMENT 5404 W. NORTH AVE WAUWATOSA, WI 53213 MAIN: (773) 658-2165
SURVEYOR: KEVIN W. ISKANDARSDACH, P.L.S. 350 PROFESSIONAL SERVICES, INC. W238 N1610 BUSSE ROAD, SUITE 100 WAUKESHA, WI 53188 MAIN: (262) 513-6666	DEVELOPER: BRAD R. ADAMS ICAP DEVELOPMENT 833 E MICHIGAN STREET, SUITE 540 MILWAUKEE, WI 53202 MAIN: (414) 278-8878

GOVERNMENT CONTACTS	
VILLAGE PLANNER: MARY CENSKY MAIN: (262) 355-1878 EMAIL: mcensky@ilapoc@pewaukee.com	DIRECTOR OF PUBLIC WORKS: DAN RAZE MAIN: (262) 691-9600 E-MAIL: draz@ilapoc@pewaukee.com
VILLAGE ENGINEER: TIM BARBEAU, P.E. KASMITH MAIN: (262) 317-3207 EMAIL: tim.barbeau@kasmith.com	

DIGGERS HOTLINE

Toll Free (800) 242-8511
Milwaukee Area (414) 259-1181
Invoicing Invoicing: (262) 542-2288
www.DiggersHotline.com

PINNACLE ENGINEERING GROUP, LLC
ENGINEER'S LIABILITY

PINNACLE ENGINEERING GROUP, LLC AND THEIR CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE DESIGN/PLANS HEREIN BEYOND A REASONABLE DULIGENCE. IF ANY DISCREPANCIES, OMISSIONS, OR DISCREPANCIES ARE FOUND TO EXIST WITHIN THE DESIGN/PLANS, THE ENGINEER SHALL BE RESPONSIBLE FOR THE DESIGN/PLANS. THE ENGINEER SHALL BE RESPONSIBLE TO TAKE IMMEDIATE STEPS NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE ENGINEER OF SUCH DISCREPANCIES SHALL HOLD THE ENGINEER FROM ANY RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH FAILURE. ACTIVE TRADE WITHOUT THE KNOWLEDGE AND CONSENT OF THE ENGINEER, OR IN CONTRADICTION TO THE ENGINEER'S OBLIGATIONS OR RECOMMENDATIONS, SHALL REMOVE THE RESPONSIBILITY OF THE ENGINEER. THE USER SHALL BE RESPONSIBLE FOR TAKING SUCH ACTION.

PINNACLE ENGINEERING GROUP, LLC IS NOT RESPONSIBLE FOR CONSTRUCTION SAFETY OR THE MEANS AND METHODS OF CONSTRUCTION.

PINNACLE ENGINEERING GROUP

ENGINEERING | NATURAL RESOURCES | SURVEYING

WISCONSIN OFFICE:
20725 WATERTOWN ROAD, SUITE 100
BROOKFIELD, WI 53186
(262) 754-8888
SHELDON JAMES WATKINS, LICENSED SURVEYOR

PEWAUKEE SENIOR LIVING

NE CORNER OF HWY 164 & SWAN RD

COVER SHEET

REVISIONS		SHEET
NO.	DESCRIPTION	
		C-11

PROJECT: 2021011910.00-WI\CAD\SHETS\COVER SHEET.DWG

DATE: 11/12/21

SCALE: N.T.S.

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www.pinnacle-engr.com

GENERAL SPECIFICATIONS FOR CONSTRUCTION ACTIVITIES

- 1. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION...
2. THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK...
3. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE MUNICIPALITY FORTY-EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION...
4. THE MUNICIPALITY SHALL HAVE THE RIGHT TO APPROVE, AND REJECT THE CONSTRUCTION OF THE PUBLIC PORTIONS OF THE WORK...
5. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER AND THE MUNICIPALITY, THEIR AGENTS, ETC. FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT...
6. SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR...
7. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION...
8. SILT FENCE AND OTHER EROSION CONTROL FACILITIES MUST BE INSTALLED PRIOR TO CONSTRUCTION OR ANY OTHER LAND DISTURBING ACTIVITY...
9. ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAY WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR...
10. TRASH AND DEBRIS SHALL BE NOT BE ALLOWED TO ACCUMULATE ON THIS SITE AND THE SITE SHALL BE CLEAN UPON COMPLETION OF WORK...
11. THE OWNER SHALL HAVE THE RIGHT TO HAVE ALL MATERIALS USED IN CONSTRUCTION TESTED FOR COMPLIANCE WITH THESE SPECIFICATIONS...
12. ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF CURB OR FACE OF BUILDING UNLESS NOTED OTHERWISE...
13. SPOT ELEVATIONS REPRESENT THE GRADE ON PAVEMENT SURFACE OR FLOWLINE UNLESS OTHERWISE NOTED...
14. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER/OWNER IF GROUNDWATER IS ENCOUNTERED DURING EXCAVATION...
15. WORK WITHIN ANY ROADWAY RIGHT-OF-WAY SHALL BE COORDINATED WITH THE APPROPRIATE MUNICIPAL OFFICIAL PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES...
16. CONTRACTOR SHALL COMPLY WITH ALL CITY OF PEWAUKEE CONSTRUCTION STANDARDS/ORDINANCES...
17. LANDSCAPE AND TURF AREAS SHALL HAVE A MINIMUM OF 4" INCH TOPSOIL REPLACEMENT.

SPECIFICATIONS FOR GRADING & EROSION CONTROL

- 1. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING AND FOR ACTUAL LAND BALANCE...
2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION...
3. SITE SHALL BE CLEARED TO THE LIMITS SHOWN ON THE PLANS...
4. THE GEOTECHNICAL ENGINEER IS RESPONSIBLE FOR VERIFYING COMPACTION AND FILL PLACEMENT IN THE FIELD...
5. IF NO GEOTECHNICAL RECOMMENDATION IS AVAILABLE, THEN THE FOLLOWING SPECIFICATIONS SHALL APPLY...
6. NO FILL SHALL BE PLACED ON A WET OR SOFT SUBGRADE...
7. SUBGRADE TOLERANCES ARE +/-1" FOR LANDSCAPE AREAS AND +/-1/2" FOR ALL PAVEMENT AND BUILDING AREAS...
8. TOPSOIL SHALL BE FREE OF DELETERIOUS MATERIALS...
9. THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION...
10. CONTRACTOR IS ADVISED THAT ALL MUD AND DEBRIS MUST NOT BE DEPOSITED ONTO THE ADJACENT ROADWAYS...

SPECIFICATIONS FOR PRIVATE UTILITIES

- 1. BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE LOCATION AND ELEVATION...
2. ALL CONNECTIONS TO EXISTING PIPES AND MANHOLES SHALL BE CORED CONNECTIONS...
3. PROPOSED SANITARY SEWER AND INTERNALLY CONNECTED STORM SEWER SHOWN ON THIS PLAN SHALL TERMINATE AT A POINT FIVE (5) FEET FROM THE EXTERIOR BUILDING WALL...
4. CONTRACTOR SHALL NOT SHUT OFF WATER OR PLUG SANITARY SEWER IN MUNICIPAL LINES WITHOUT PRIOR APPROVAL...
5. MATERIALS FOR STORM SEWER SHALL BE AS FOLLOWS...
6. CLEANOUTS FOR SANITARY SEWER LATERALS SHALL BE PLACED AT EQUIVALENT SEPARATION OF EVERY 90'...
7. 90' BENDS SHALL BE USED IN PLACE OF 45' BENDS WHERE POSSIBLE...
8. MATERIALS FOR SANITARY SEWER SHALL BE AS FOLLOWS...
9. MATERIALS FOR WATER SERVICES AND PRIVATE HYDRANTS SHALL BE AS FOLLOWS...
10. EXTREME CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES...
11. MAJOR TESTS ON SANITARY LINES AND PRESSURE TESTING ON WATERMAIN MAY BE REQUIRED BY THE OWNER OR MUNICIPALITY...
12. UPON COMPLETION OF FINAL PAVING OPERATIONS THE UTILITY CONTRACTOR SHALL ADJUST ALL MANHOLE AND INLET RIMS AND VALVE BOXES TO FINISHED GRADE.

SPECIFICATIONS FOR PAVING

- 1. ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING UNLESS NOTED OTHERWISE...
2. AGGREGATES USED IN THE CRUSHED STONE BASE SHALL CONFORM TO THE GRADATION REQUIREMENTS...
3. SUBGRADE SHALL BE PROOFROLLED AND APPROVED BY A GEOTECHNICAL ENGINEER...
4. EXISTING PAVEMENT SHALL BE SAWCUT IN NEAR STRAIGHT LINES TO FULL DEPTH...
5. ASPHALT FOR PARKING AREAS AND THE PRIVATE ROAD SHALL BE PER THE DETAILS...
6. CONCRETE FOR CURB, DRIVEWAY, WALKS AND NON-FLOOR SLABS SHALL CONFORM TO SECTION 415 OF THE STANDARD SPECIFICATIONS...
7. PROVIDE CONTRACTOR GRADE ACRYLIC STRIPING PAINT FOR NEW ASPHALT OR COATED ASPHALT...
8. THOROUGHLY CLEAN SURFACES FREE OF DIRT, SAND, GRAVEL, OIL AND OTHER FOREIGN MATTER.

GENERAL EROSION AND SEDIMENT CONTROL NOTES

- 1. ALL CONSTRUCTION SHALL ADHERE TO THE REQUIREMENTS SET FORTH IN EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORMWATER GENERAL PERMIT...
2. THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS...
3. MODIFICATIONS TO THE APPROVED SWMP IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS ARE ALLOWED...
4. INSTALL PERIMETER EROSION CONTROL MEASURES SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION...
5. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS...
6. PAVED SURFACES ADJACENT TO CONSTRUCTION ENTRANCES SHALL BE SWEEP AND/OR SCRAPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST...
7. ALL EXISTING STORM SEWER FACILITIES THAT WILL COLLECT RUNOFF FROM DISTURBED AREAS SHALL BE PROTECTED...
8. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, WATER MAIN, ETC.) OUTSIDE OF THE PERIMETER CONTROLS SHALL INCORPORATE THE FOLLOWING:

PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.

BACKFILL, COMPACT AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.

DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH BMP'S PRIOR TO RELEASE INTO STORM SEWER OR DITCHES.

- 9. AT A MINIMUM, SEDIMENT BASINS AND NECESSARY TEMPORARY DRAINAGE PROVISIONS SHALL BE CONSTRUCTED AND OPERATIONAL BEFORE BEGINNING OF SIGNIFICANT MASS GRADING OPERATIONS...
10. IF APPLICABLE, ALL WATERCOURSES AND WETLANDS SHALL BE PROTECTED WITH SILT FENCE...
11. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED...
12. TOPSOIL STOCKPILES SHALL HAVE A BERM OR TRENCH AROUND THE PERIPHERY AND PERIMETER SILT FENCE TO CONTROL SILT...
13. EROSION CONTROL MEASURES TEMPORARILY REMOVED FOR UNAVOIDABLE CONSTRUCTION ACTIVITIES SHALL BE IN WORKING ORDER IMMEDIATELY FOLLOWING COMPLETION OF SUCH ACTIVITIES...
14. MAINTAIN SOIL EROSION CONTROL DEVICES THROUGH THE DURATION OF THIS PROJECT...
15. PUMPS MAY BE USED AS BYPASS DEVICES...
16. GRADING EFFORTS SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION...
17. ALL DISTURBED SLOPES EXCEEDING 4:1, SHALL BE STABILIZED WITH NORTH AMERICAN GREEN 575B EROSION MATTING...
18. DURING PERIODS OF EXTENDED DRY WEATHER, THE CONTRACTOR SHALL KEEP A WATER TRUCK ON SITE...
19. DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE VISUALLY INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM...
20. QUALIFIED PERSONNEL (PROVIDED BY THE GENERAL/PRIME CONTRACTOR) SHALL INSPECT DISTURBED AREAS...
21. SEE ADDITIONAL DETAILS AND NOTES IN THE CONSTRUCTION DETAILS.

DEMOLITION NOTES

- 1. PERIMETER SILT FENCING AND CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO ANY DEMOLITION...
2. EXISTING FEATURES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE...
3. CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS...
4. COORDINATE WITH ALL APPLICABLE UTILITY COMPANIES AND THE MUNICIPALITY TO PROTECT EXISTING FUNCTIONING UTILITIES...
5. VOIDS LEFT BY REMOVAL OF FEATURES SHALL BE MODIFIED/FILLED TO PREVENT FLOODING OF WATER...
6. DEMOLISH AND DISPOSE EXISTING PIPING, CABLE/WIRES, STRUCTURES, OR OTHER SURFACE FEATURES INDICATED ON THE PLANS TO BE REMOVED...
7. CLEARING AND GRUBBING OPERATIONS SHALL INCLUDE CLEARING, GRUBBING, REMOVING AND DISPOSING OF ALL VEGETATION AND DEBRIS...
8. CONTRACTOR SHALL REMOVE EXISTING FENCING IN A MANNER TO ALLOW REUSE...
9. CONTRACTOR SHALL COORDINATE WITH THE MUNICIPALITY FOR TERMINATION OF PUBLIC UTILITY CONNECTIONS TO SITE...
10. CONTRACTOR SHALL COORDINATE STOCKPILE LIMITS AND LOCATIONS WITH ENGINEER/OWNER PRIOR TO DEMOLITION.

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NE CORNER OF HWY 164 & SWAN RD

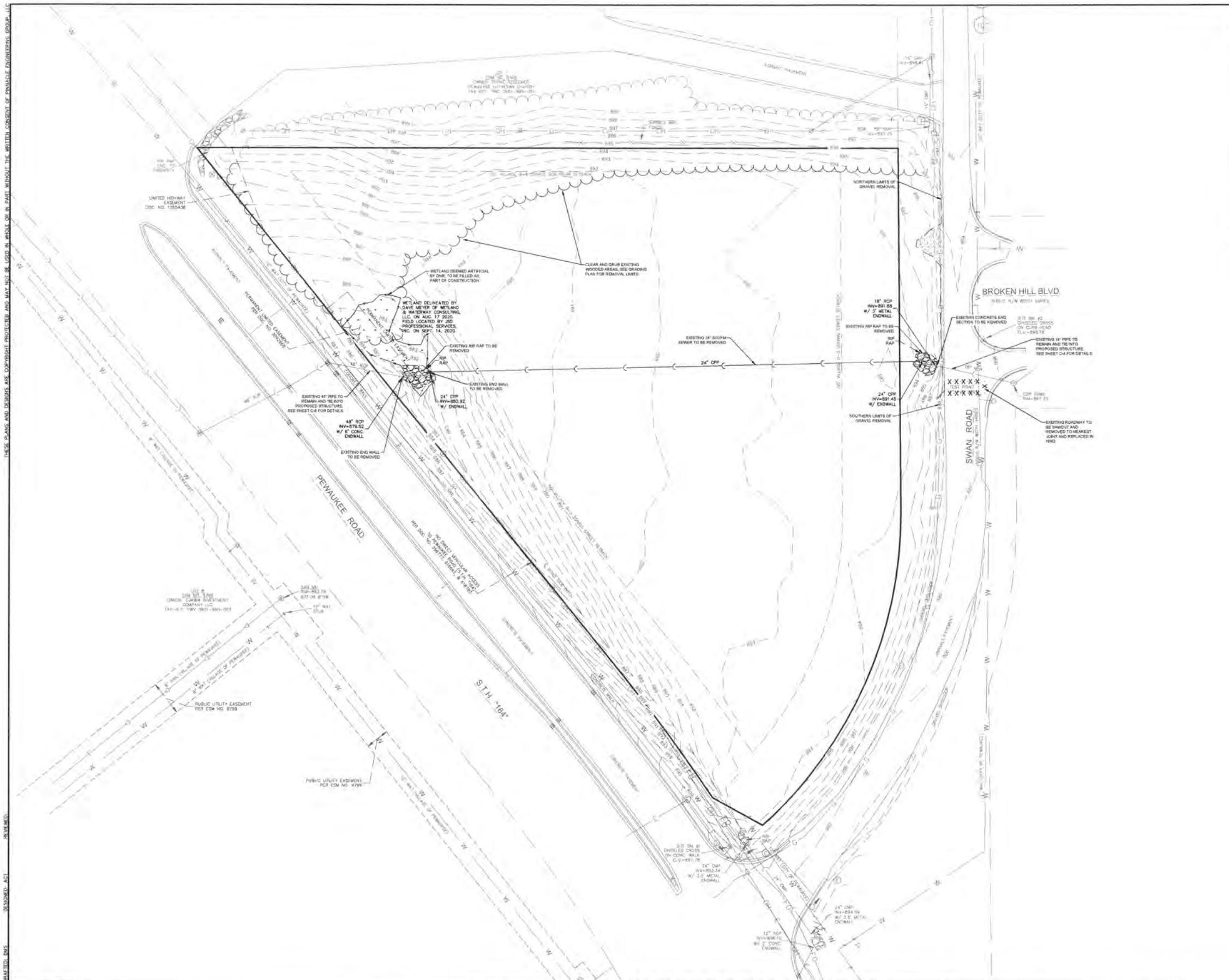
GENERAL NOTES

Table with 2 columns: REVISIONS, SHEET C-2, C-11

REVISIONS
SHEET C-2
C-11

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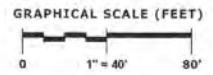


LEGEND	
SANITARY MANHOLE	STORM SEWER
STORM MANHOLE	WATER MAIN
CATCH BASIN	LIGHTING
INLET	ELECTRICAL CABLE
PRECAST FLARED END SECTION	ELECTRICAL TRANSFORMER OR PEDESTAL
CONCRETE HEADWALL	POWER POLE
VALVE VAULT	POWER POLE WITH LIGHT
VALVE BOX	GLY WIRE
FIRE HYDRANT	STREET SIGN
BUFFALO BOX	GAS MAIN
CLEANOUT	TELEPHONE LINE
SANITARY SEWER	CONTOUR
FORCE MAIN	TREE
CONCRETE SIDEWALK	EASEMENT LINE

CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2

EXISTING CONDITIONS SURVEY:
 EXISTING CONDITIONS SURVEY PROVIDED BY PINNACLE ENGINEERING GROUP. ALTHOUGH PEG HAS NO REASON TO BELIEVE THE SURVEY IS INACCURATE, PEG MAKES NO WARRANTIES THAT EXISTING INFORMATION CONTAINED WITHIN THESE PLANS IS ALL-INCLUSIVE OR ACCURATE. CONTRACTOR SHALL UNDERTAKE NECESSARY EFFORTS TO VERIFY THE EXISTING CONDITIONS PRIOR TO THE START OF MATERIAL PROCUREMENT AND CONSTRUCTION EFFORTS/ACTIVITIES.

CONTRACTOR RESPONSIBILITY:
 THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. IF ADDITIONAL UTILITIES ARE KNOWN TO EXIST IN THE PROPERTY, THE OWNER WILL PROVIDE EXISTING PLANS OF OTHER UTILITIES SERVING THE SITE AND THE BUILDING THAT OTHERWISE CANNOT BE LOCATED BY A VISUAL OBSERVATION OF THE PROPERTY OR OF WHICH THE SURVEYOR WOULD HAVE NO KNOWLEDGE.



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PEWAUKEE SENIOR LIVING
EXISTING CONDITONS & DEMO PLAN
NE CORNER OF HWY 164 & SWAN RD

NO.	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION

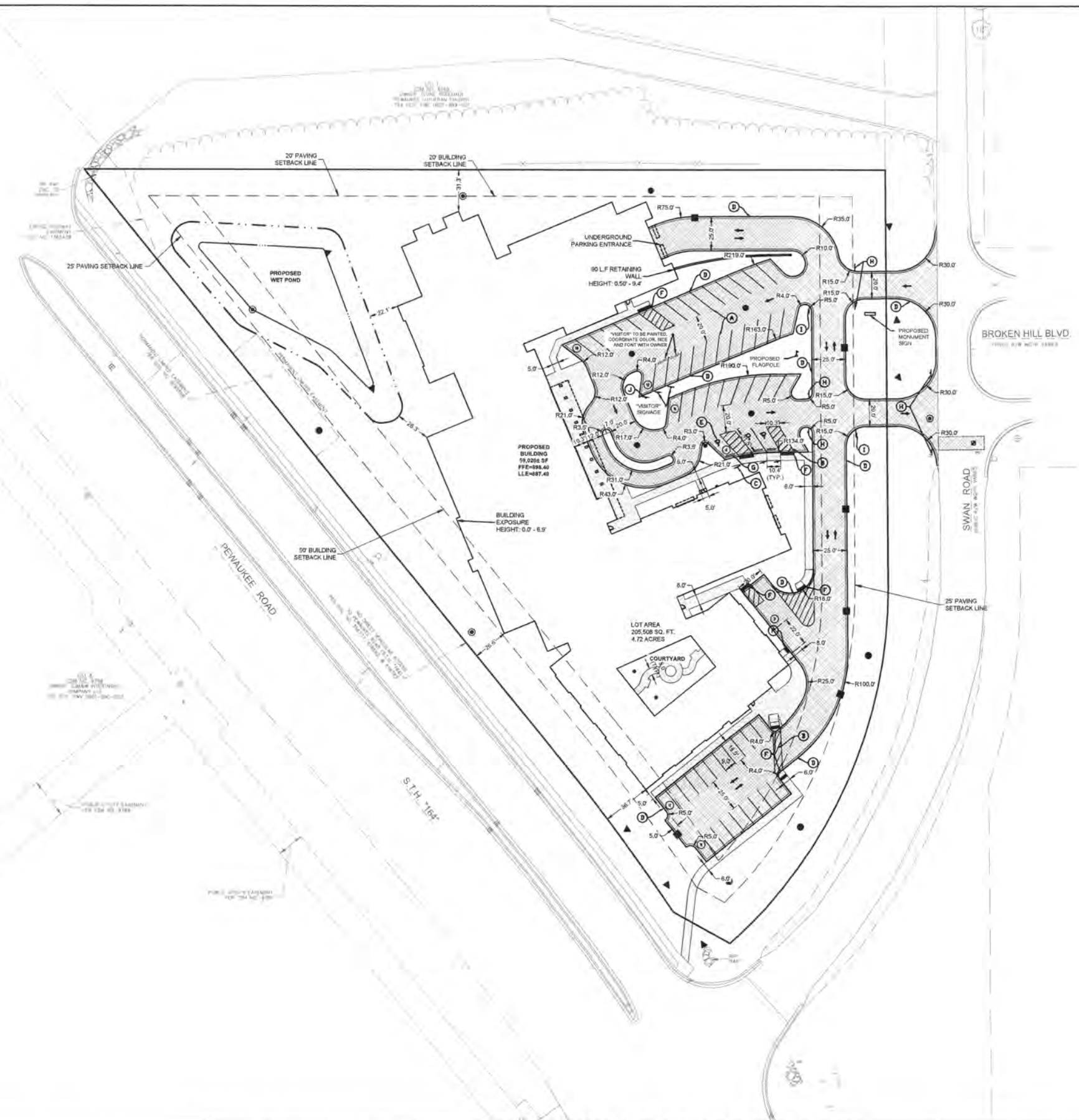
SHEET **C-3**
 C-11
 SCALE: 1" = 40'
 START DATE: 11/17/21
 PEG JOB NO: 1910-00-WI

EXISTING CONDITIONS & DEMO PLAN

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 DRAFTED: BMS
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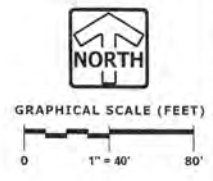
SITE DIMENSIONAL & PAVING PLAN



LEGEND	
	ASPHALT PAVING - 4" CRUSHED AGGREGATE BASE COURSE (1 1/2" DENSE GRADES LIMESTONE) - 1" HMA PAVEMENT (2 LIFTS) - 2" FINISH COURSE - 1.17 18-28.5 - 1" SURFACE COURSE - 1.17 18-28.5
	CONCRETE PAVING - 4" CRUSHED AGGREGATE BASE COURSE (1 1/2" DENSE GRADES LIMESTONE) - 4" FINISH COURSE - 1.17 18-28.5
	CONCRETE SIDEWALK - 4" CRUSHED AGGREGATE BASE COURSE (1 1/2" DENSE GRADES LIMESTONE) - 4" FINISH COURSE - 1.17 18-28.5
	4" SOLID WHITE STRIPE
	4" DIAGONAL AT 45° SPACED 2' O.C.
	ADA PARKING STALL SIGNAGE
	18" CURB & GUTTER (SEE DETAIL)
	ADA STALL INSIGNIA
	ADA COMPLIANT RAMP, DEPRESS AND TAPER CURB HEAD. INSTALL TRUNCATED DOMES AT SIDEWALK.
	CONCRETE WHEEL STOP (SEE ARCHITECTURAL PLAN FOR DETAILS)
	DECORATIVE "TEXT ONLY" SIGNAGE, COORDINATE TYPE AND SIZE WITH OWNER
	DIRECTIONAL SIGNAGE, COORDINATE TYPE AND SIZE WITH OWNER
	"RESERVED FOR FUTURE RESIDENT" SIGNAGE, COORDINATE TYPE AND SIZE WITH OWNER
	PARKING COUNT (FOR INFORMATION ONLY, NOT TO BE PAINTED)
	REVERSE PITCH CURB AND GUTTER

SITE DATA	
SITE AREA:	4.72 AC
TOTAL DISTURBED AREA:	4.71 AC
PROPOSED CAR PARKING SPACES:	62 SPACES (3 ADA SPOTS)
PROPOSED PAVEMENT AREA:	1.13 AC
PROPOSED TOTAL IMPERVIOUS:	2.48 AC = 53% (65% MAXIMUM)
PROPOSED GREEN SPACE:	2.24 AC = 47% (MINIMUM 35%)
FLOOR AREA RATIO:	1.35 AC = 29% (MAXIMUM 30%)

CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2



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 NE CORNER OF HWY 164 & SWAN RD

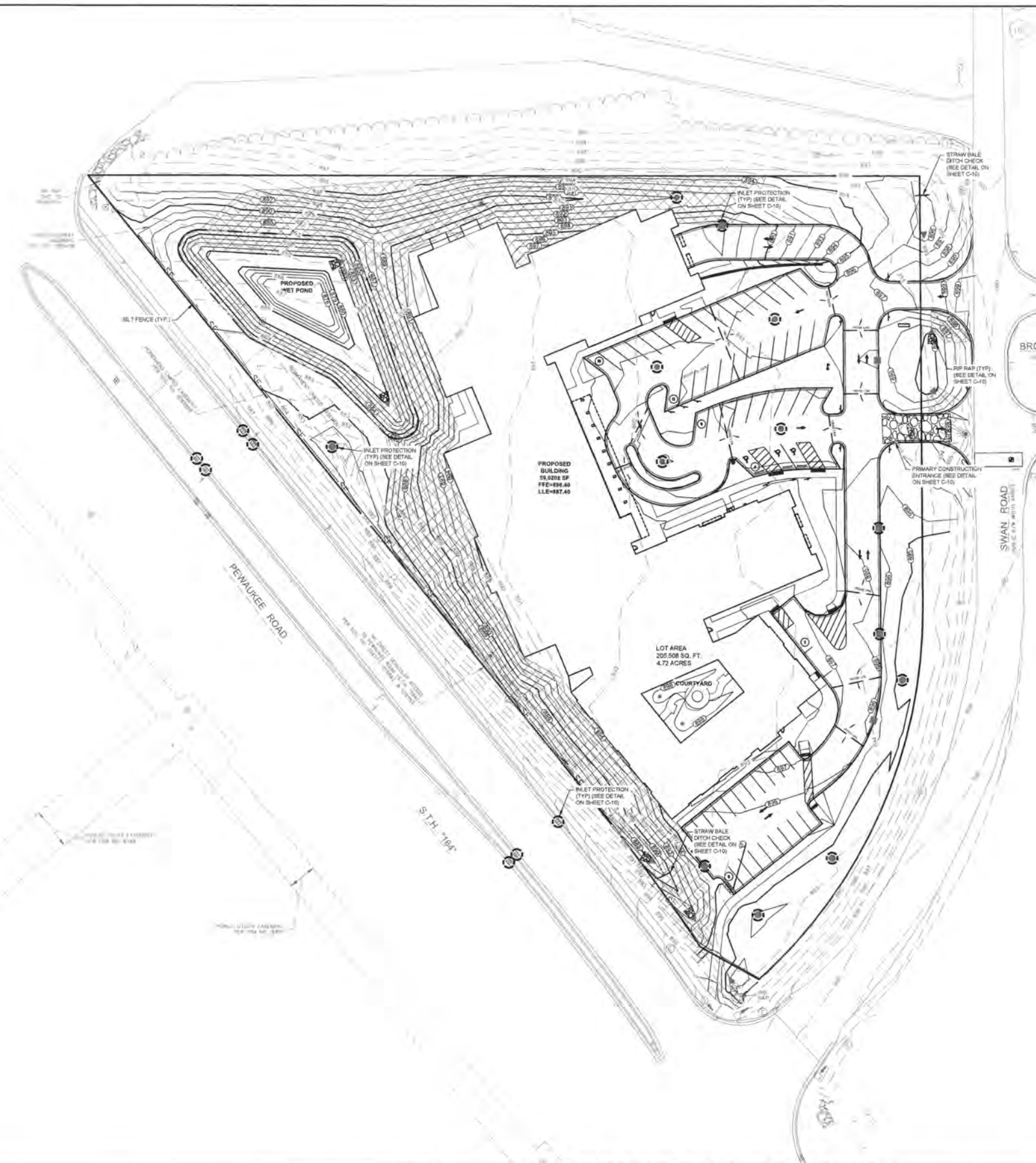
SITE DIMENSIONAL & PAVING PLAN

NO.	REVISIONS

SHEET C-4
 C-11
 REG. NO. 14310, 08/2011
 REG. EX. 1115
 START DATE: 11/12/21
 SCALE: 1" = 40'
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 ENGINEER: AJT
 REVIEWER:
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LEGEND

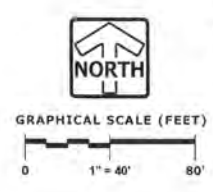
<ul style="list-style-type: none"> ● SANITARY SEWER MANHOLE ⊙ STORM SEWER MANHOLE ⊞ STORM CATCH BASIN (ROUND CASTING) ⊞ STORM SEWER CATCH BASIN (RECTANGULAR CASTING) ▭ PRECAST FLARED END SECTION ⊞ CLEANOUT ⊞ VALVE BOX ⊞ FIRE HYDRANT ⊞ PROPOSED CONTOUR ▲ PROPOSED SPOT ELEVATION --- WETLANDS --- FLOODPLAIN --- HIGH WATER LEVEL (HWL) 	<ul style="list-style-type: none"> --- NORMAL WATER LEVEL (NWL) --- DITCH OR SWALE --- DIVERSION SWALE --- SILT FENCE ○ TYPE D INLET PROTECTION ⊞ CONSTRUCTION ENTRANCE □ HYDROSEED (PER MANUFACTURER SPECIFICATIONS) ▨ EROSION CONTROL BLANKET (NORTH AMERICAN GREEN STS OR EQUAL) ▨ RP RAP
---	---

CONSTRUCTION SITE SEQUENCING

1. INSTALL PERIMETER SILT FENCE, INLET PROTECTION, TEMPORARY CONSTRUCTION ENTRANCE AND ANY OTHER EROSION CONTROL MEASURES.
2. DEMOLITION AND REMOVALS OF BUILDINGS, PAVEMENTS & LANDSCAPING.
3. CONDUCT ROUGH GRADING EFFORTS AND INSTALL CHECK DAMS AND SEDIMENT TRAPS/BASINS AS NEEDED.
4. CONSTRUCTION OF FOUNDATIONS AND BUILDING.
5. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
6. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
7. INSTALL TOPSOIL AND LANDSCAPING. IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROLS.
8. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.

CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

NOTE:
REMAINING DISTURBED AREAS OF SLOPES 5:1 OR FLATTER TO BE HYDROSEEDED



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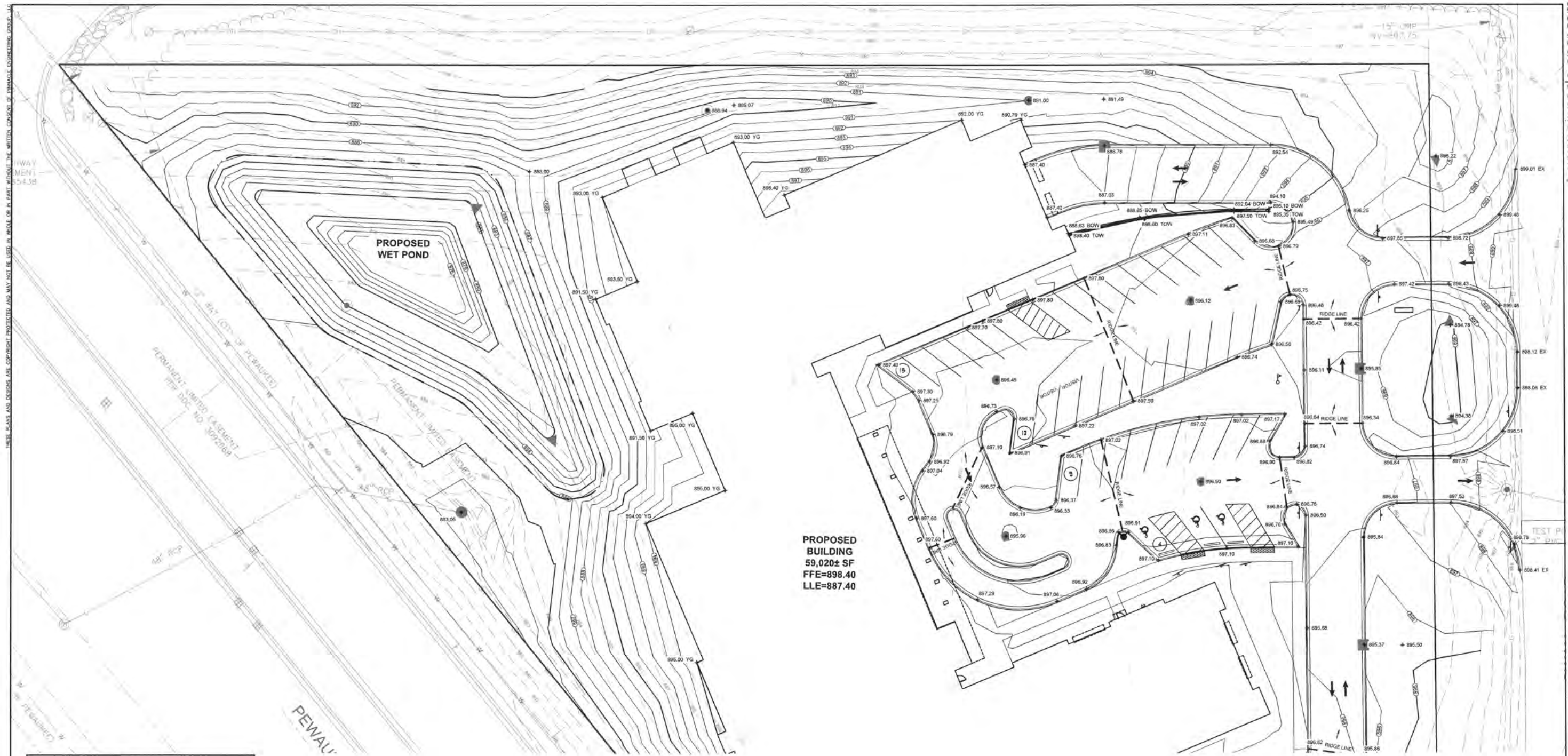
NE CORNER OF HWY 164 & SWAN RD

GRADING & EROSION CONTROL

REVISIONS		SHEET C-5 C-11
NO.	DESCRIPTION	

PEG JOB: N4310.003HW
 REG. NO.: MJS
 START DATE: 11/17/21
 SCALE: 1" = 40'

GRADING & EROSION CONTROL

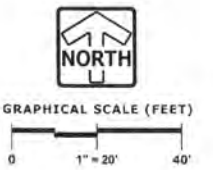


LEGEND

	SANITARY SEWER MANHOLE
	STORM SEWER MANHOLE
	STORM STORM CATCH BASIN (ROUND CASTING)
	STORM SEWER CATCH BASIN (RECTANGULAR CASTING)
	PRECAST FLARED END SECTION
	CLEANOUT
	VALVE BOX
	FIRE HYDRANT
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	DIRECTION OF SURFACE FLOW
	OVERFLOW RELIEF ROUTING

NOTE :
 REMAINING DISTURBED AREAS OF SLOPES 5:1 OR FLATTER TO BE HYDROSEEDED

CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2



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SPOT GRADE PLAN

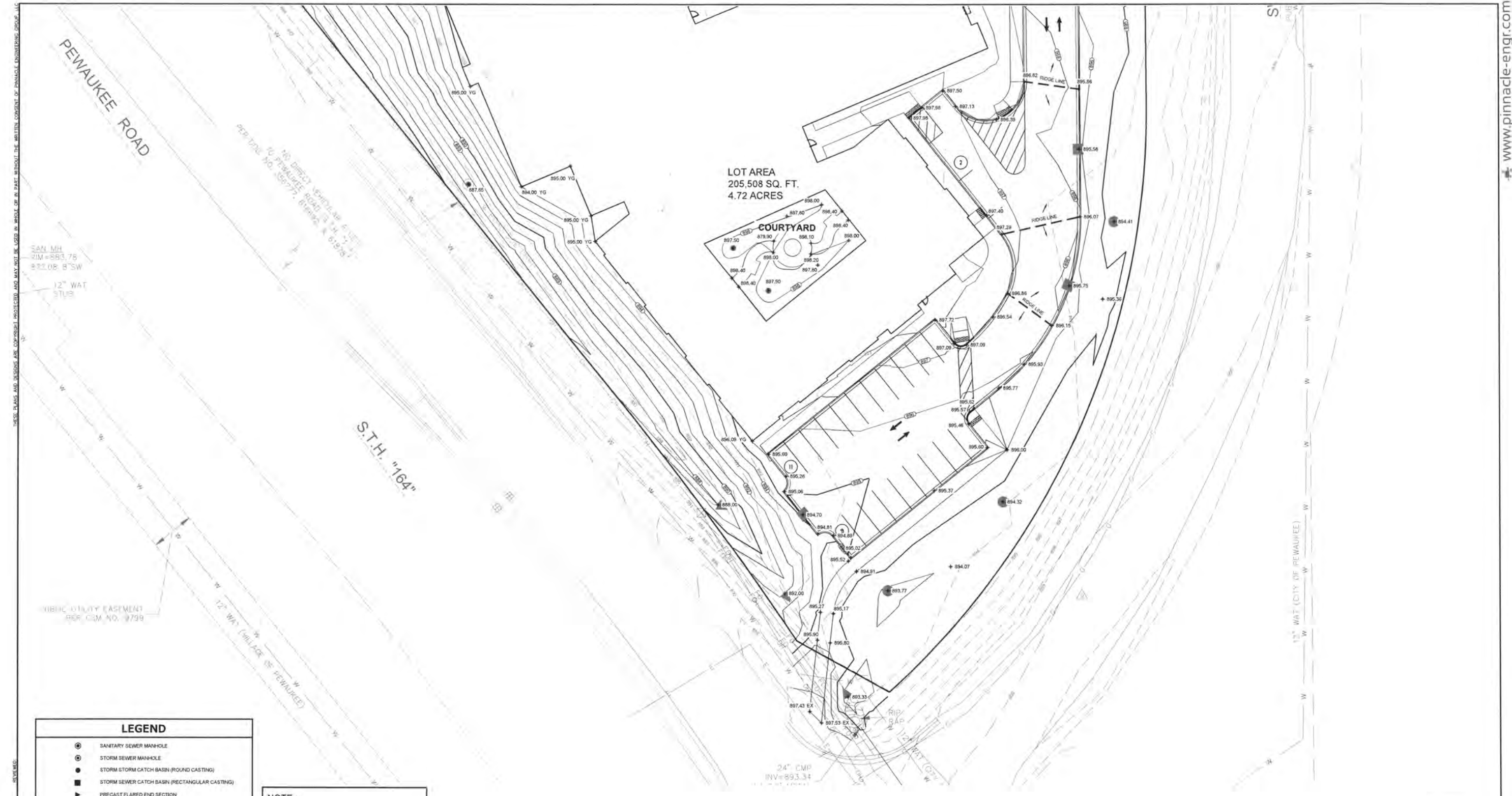
REVISIONS

NO.	DATE	DESCRIPTION

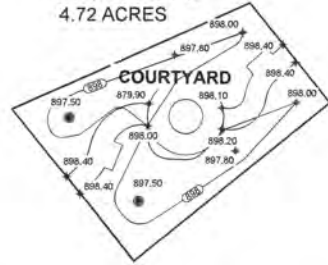
PROJECT NO: 1910-00-01-01
 PEG: MJS
 START DATE: 11/17/21
 SCALE: 1" = 40'

SHEET C-6 C-11

Z:\PROJECTS\2020\1910-00-WP\CAD\SHETS\SPOT GRADE.DWG



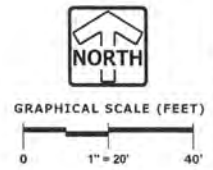
LOT AREA
205,508 SQ. FT.
4.72 ACRES



LEGEND	
	SANITARY SEWER MANHOLE
	STORM SEWER MANHOLE
	STORM CATCH BASIN (ROUND CASTING)
	STORM CATCH BASIN (RECTANGULAR CASTING)
	PRECAST FLARED END SECTION
	CLEANOUT
	VALVE BOX
	FIRE HYDRANT
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	DIRECTION OF SURFACE FLOW
	OVERFLOW RELIEF ROUTING

NOTE:
REMAINING DISTURBED AREAS OF
SLOPES 5:1 OR FLATTER TO BE
HYDROSEEDED

**CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL
CONSTRUCTION NOTES LOCATED ON SHEET C-2**



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SPOT GRADE PLAN

REVISIONS

NO.	DATE	DESCRIPTION

REG JOB NO. 1910.00-SW
REG PN: MTS
START DATE: 11/12/21
SCALE: 1" = 40'

SHEET
C-7
C-11

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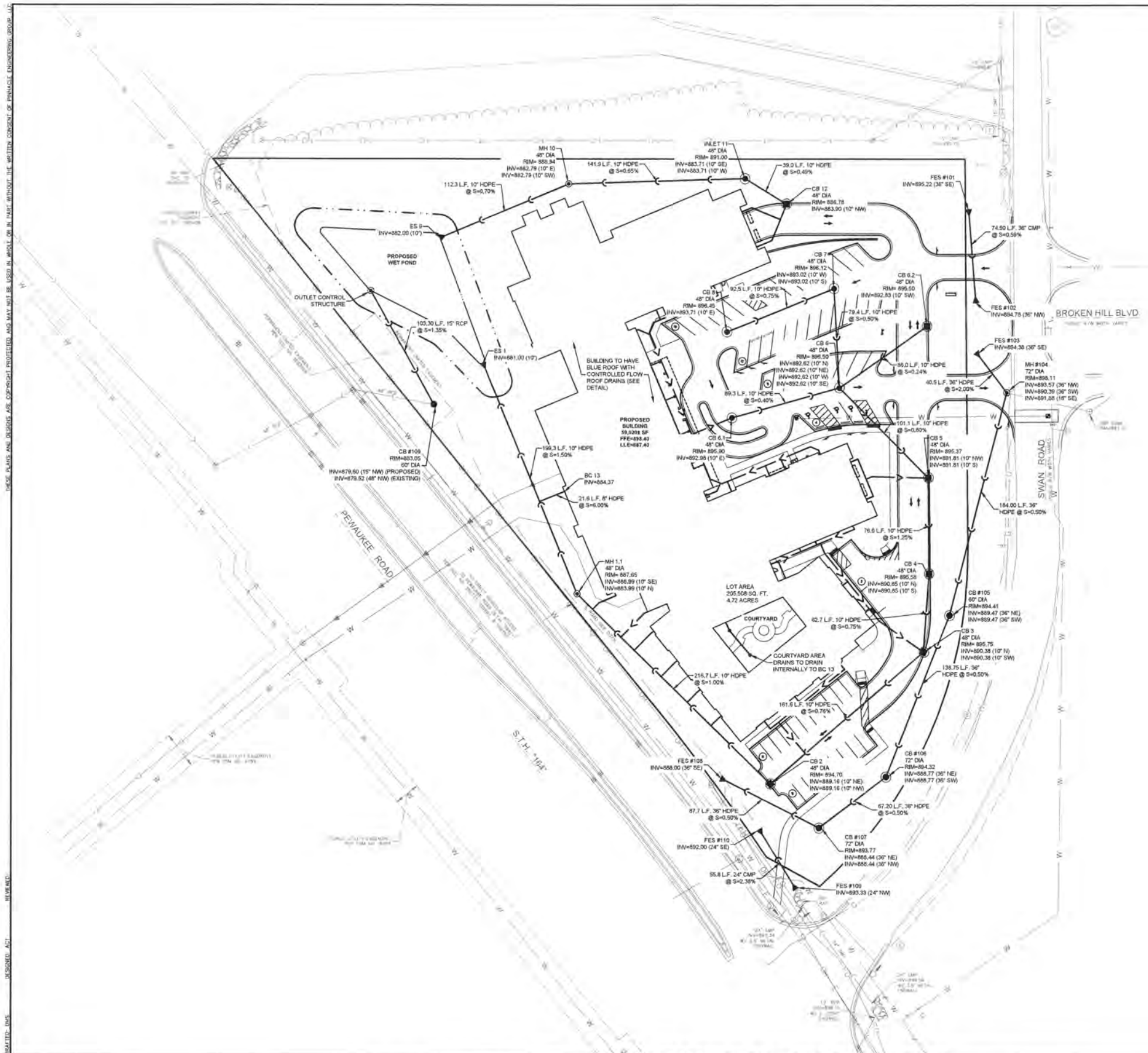
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LEGEND	
	SANITARY SEWER MANHOLE
	STORM SEWER MANHOLE
	STORM SEWER CATCH BASIN (ROUND CASTING)
	STORM SEWER CATCH BASIN (RECTANGULAR CASTING)
	PRECAST CONCRETE FLARED END SECTION
	CLEANOUT
	VALVE BOX
	FIRE HYDRANT
	SANITARY SEWER
	FORCE MAIN
	DOWNSPOUT CONNECTIONS
	STORM SEWER
	DRAIN TILE
	WATER MAIN
	FIRE PROTECTION
	UTILITY CROSSING
	ELECTRICAL CABLE
	GAS MAIN
	TELEPHONE LINE
	OVERHEAD WIRES
	LIGHTING
	ELECTRICAL TRANSFORMER OR PEDESTAL
	POWER POLE
	POWER POLE WITH LIGHTS
	STREET SIGN

CONTRACTOR TO PROVIDE MINIMUM OF 2.5' OF COVER AT ALL DOWNSPOUT CONNECTIONS TO STORM SEWER. CONNECTIONS TO BE MADE WITH 8" SDR-35 PVC

CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2

NOTE:
ALL INLETS SHALL HAVE UNDERDRAIN INSTALLED PER DETAIL ON SHEET C-11



GRAPHICAL SCALE (FEET)
0 1" = 40' 80'

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STORM SEWER PLAN

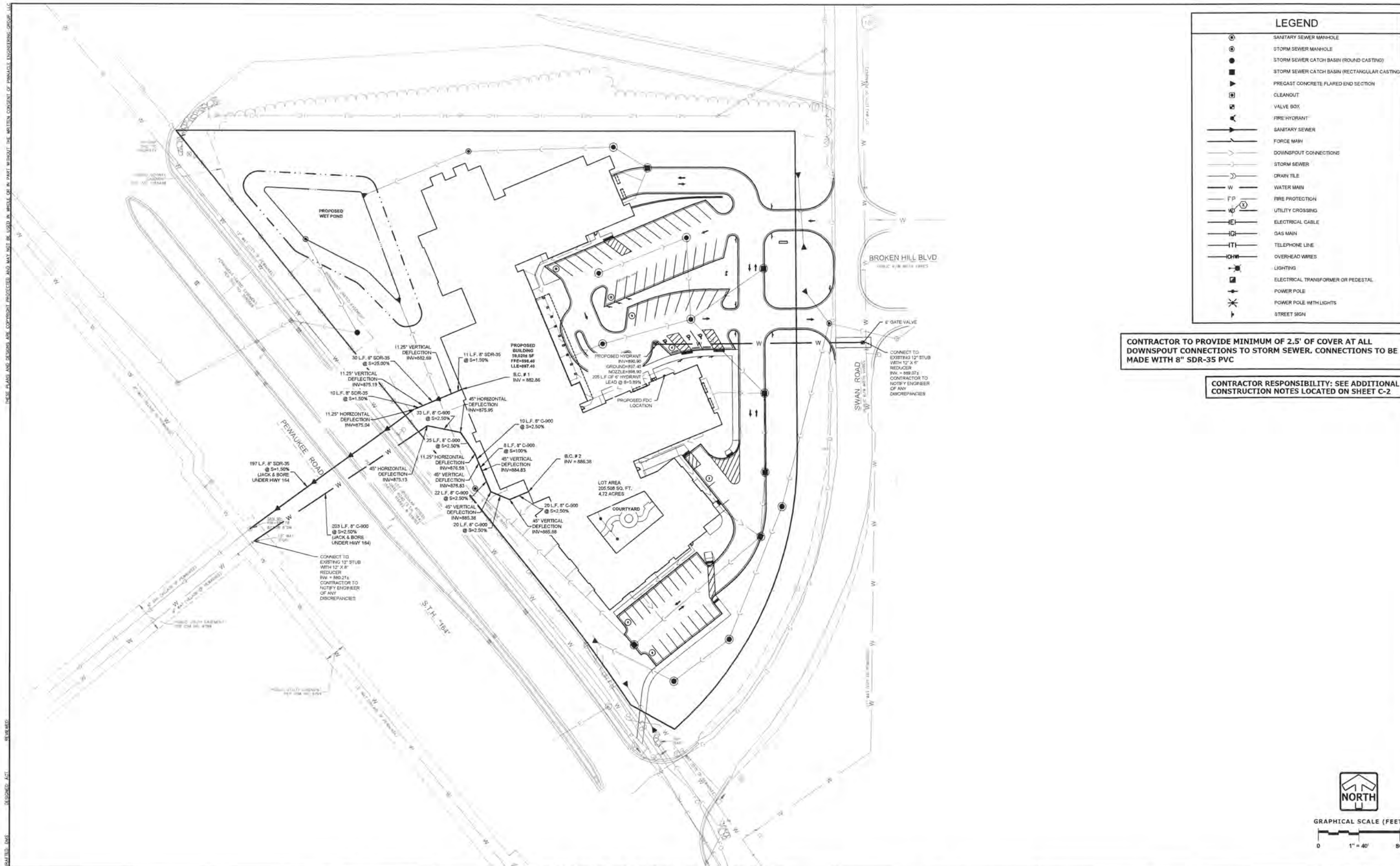
REVISIONS	

REG. NO. 10310.0035W REG. EX. M/S START DATE: 11/17/21 SCALE: 1" = 40'	SHEET C-8 C-11
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STORM SEWER PLAN

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 DESIGNED: JCT
 REVISION: 005
 DATE: 11/17/21

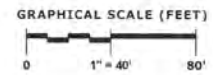
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CONTRACTOR TO PROVIDE MINIMUM OF 2.5' OF COVER AT ALL DOWNSPOUT CONNECTIONS TO STORM SEWER. CONNECTIONS TO BE MADE WITH 8\"/>

CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2

LEGEND	
	SANITARY SEWER MANHOLE
	STORM SEWER MANHOLE
	STORM SEWER CATCH BASIN (ROUND CASTING)
	STORM SEWER CATCH BASIN (RECTANGULAR CASTING)
	PRECAST CONCRETE FLARED END SECTION
	CLEANOUT
	VALVE BOX
	FIRE HYDRANT
	SANITARY SEWER
	FORCE MAIN
	DOWNSPOUT CONNECTIONS
	STORM SEWER
	DRAIN TILE
	WATER MAIN
	FIRE PROTECTION
	UTILITY CROSSING
	ELECTRICAL CABLE
	GAS MAIN
	TELEPHONE LINE
	OVERHEAD WIRES
	LIGHTING
	ELECTRICAL TRANSFORMER OR PEDESTAL
	POWER POLE
	POWER POLE WITH LIGHTS
	STREET SIGN



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 20725 WATERTOWN ROAD, SUITE 100
 BROKEN HILL, WI 53136
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SANITARY & WATERMAIN PLAN

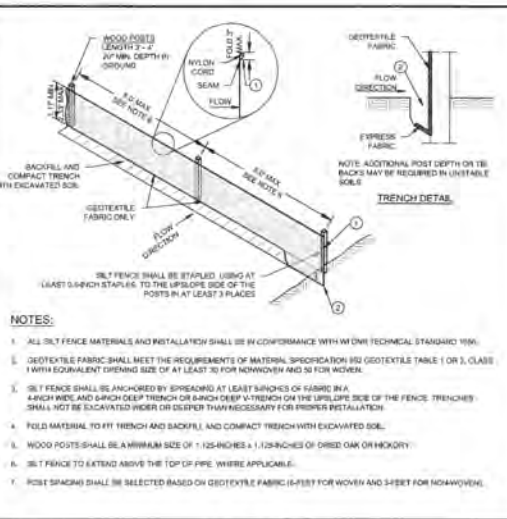
REVISIONS	

PEG FOR 143210-005-WI PEG FOR 143210-005-WI START DATE 11/17/21 SCALE 1" = 40'	SHEET C-9 C-11
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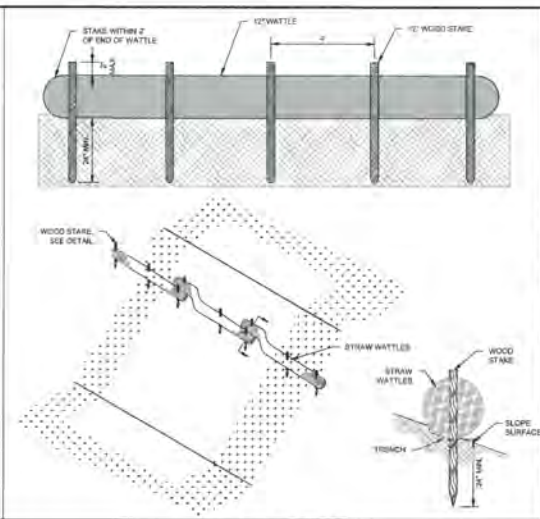
SANITARY & WATERMAIN PLAN

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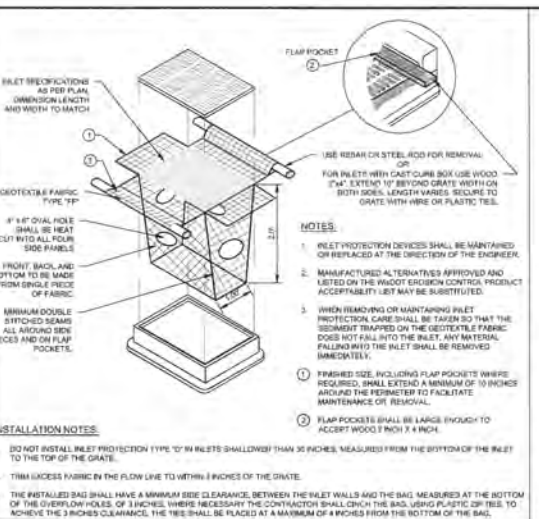
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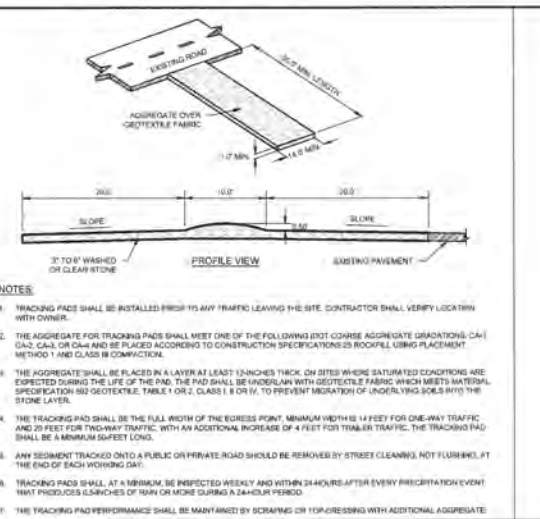
SILT FENCE



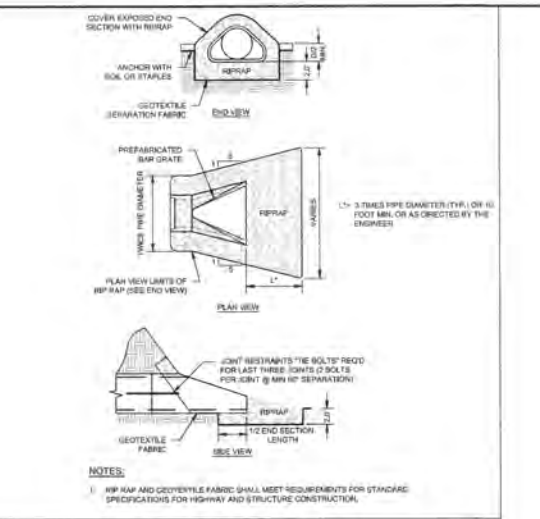
STRAW WATTLE



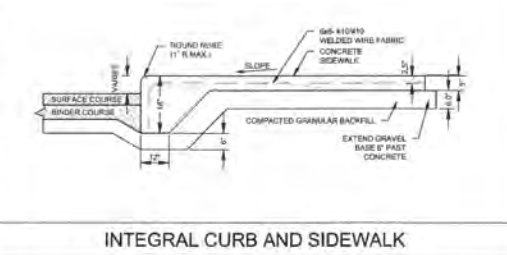
INLET PROTECTION



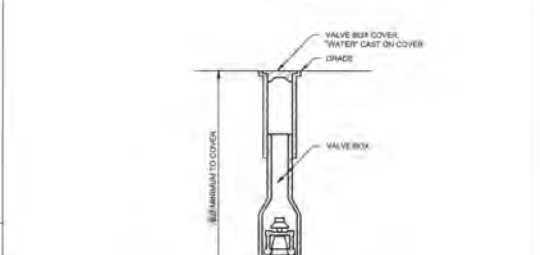
CONSTRUCTION ENTRANCE



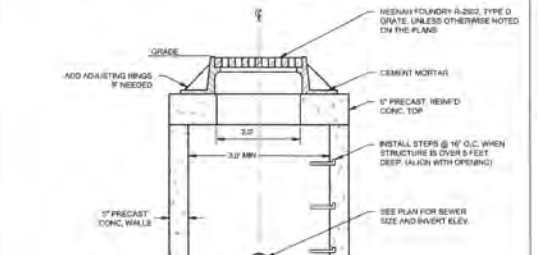
RIP RAP AT END SECTIONS



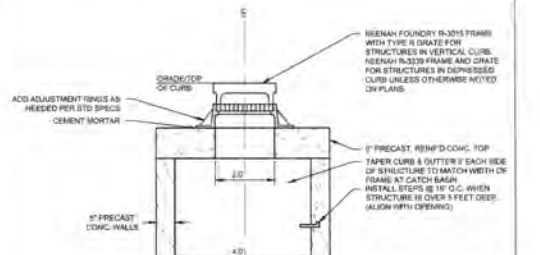
INTEGRAL CURB AND SIDEWALK



SERVICE VALVE



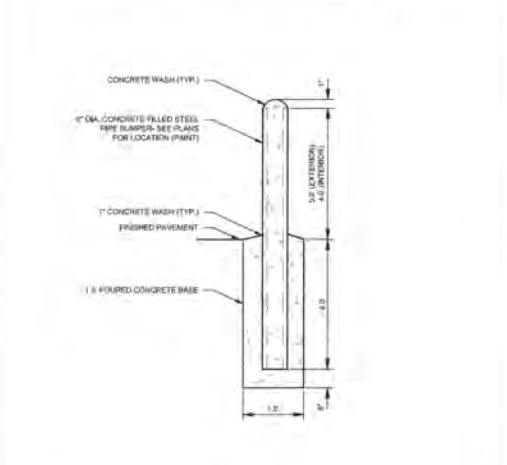
CATCH BASIN



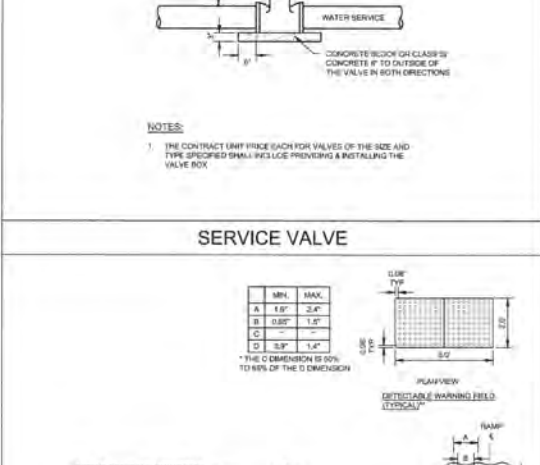
CATCH BASIN - CURB



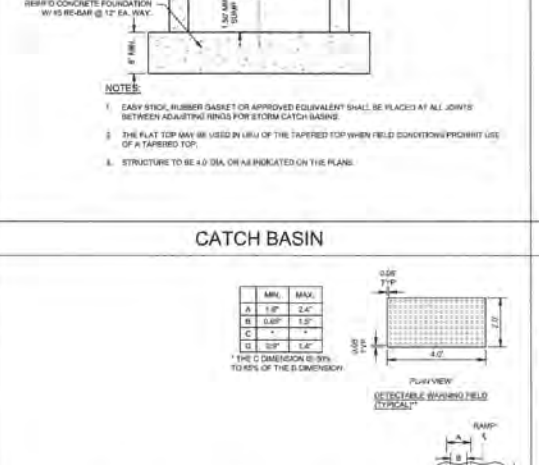
18" VERTICAL FACE CURB



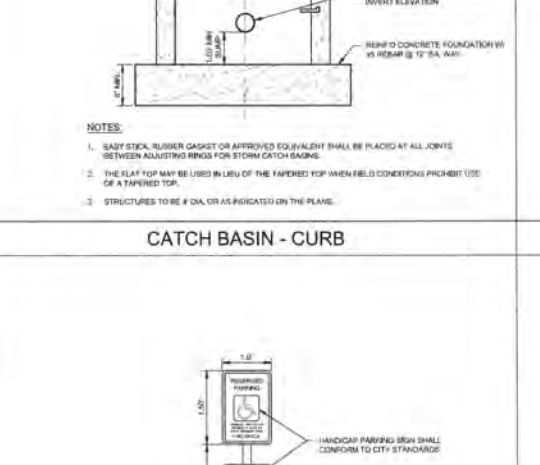
BOLLARD



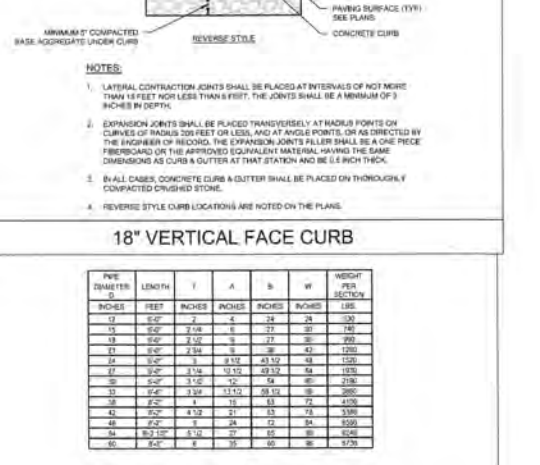
DETECTABLE WARNING TRUNCATED DOMES



TYPICAL ACCESSIBLE RAMP - SPLIT



ADA SIGN



FLARED END SECTION

PINNACLE ENGINEERING GROUP
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 20775 WATERLOO ROAD, SUITE 107
 BROOKFIELD, WI 53116
 (262) 754-8888
 www.pinnacle-engr.com

PEWAUKEE SENIOR LIVING
 NE CORNER OF HWY 164 & SWAN RD

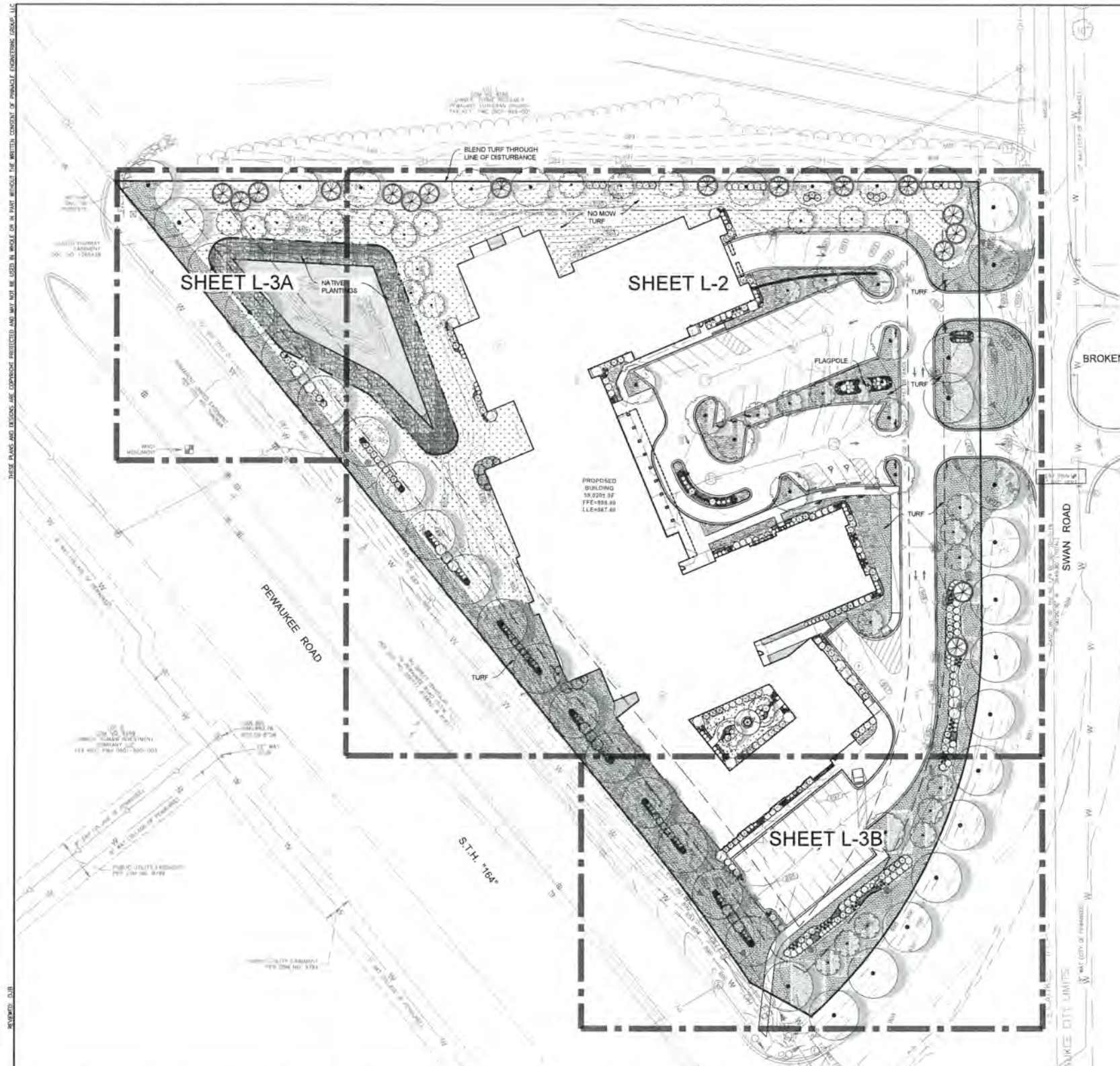
CONSTRUCTION DETAILS

REVISIONS

NO.	DATE	DESCRIPTION

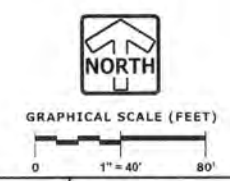
SHEET
C-10
C-11
 PEG JOB #16310.00-01-01
 PER: PH: MTS
 START DATE: 11/12/21
 SCALE: N.T.S.

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 CONSTRUCTION DETAILS



LANDSCAPE IMPROVEMENT TABLE	REQUIRED	PROVIDED
STREET TREES 1,545 ft • TREES	31	31
GREEN SPACE 102,236 sq ft • 1 TREE PER 1,000 • 2 SHRUBS PER 1,000	103 205	104 374
INTERIOR PARKING AREA 29,469 sq ft • LANDSCAPE AREA 10% OF PARKING AREA	2,947 sq ft	5,156 sq ft

REFERENCE NOTES SCHEDULE			
SYMBOL	DESCRIPTION	QTY	DETAIL
	CRUSHED GRANITE/STONE	703 sf	
	STONE MULCH- EITHER APLINE WHITE OR ROUND RAPIDS	506 sf	



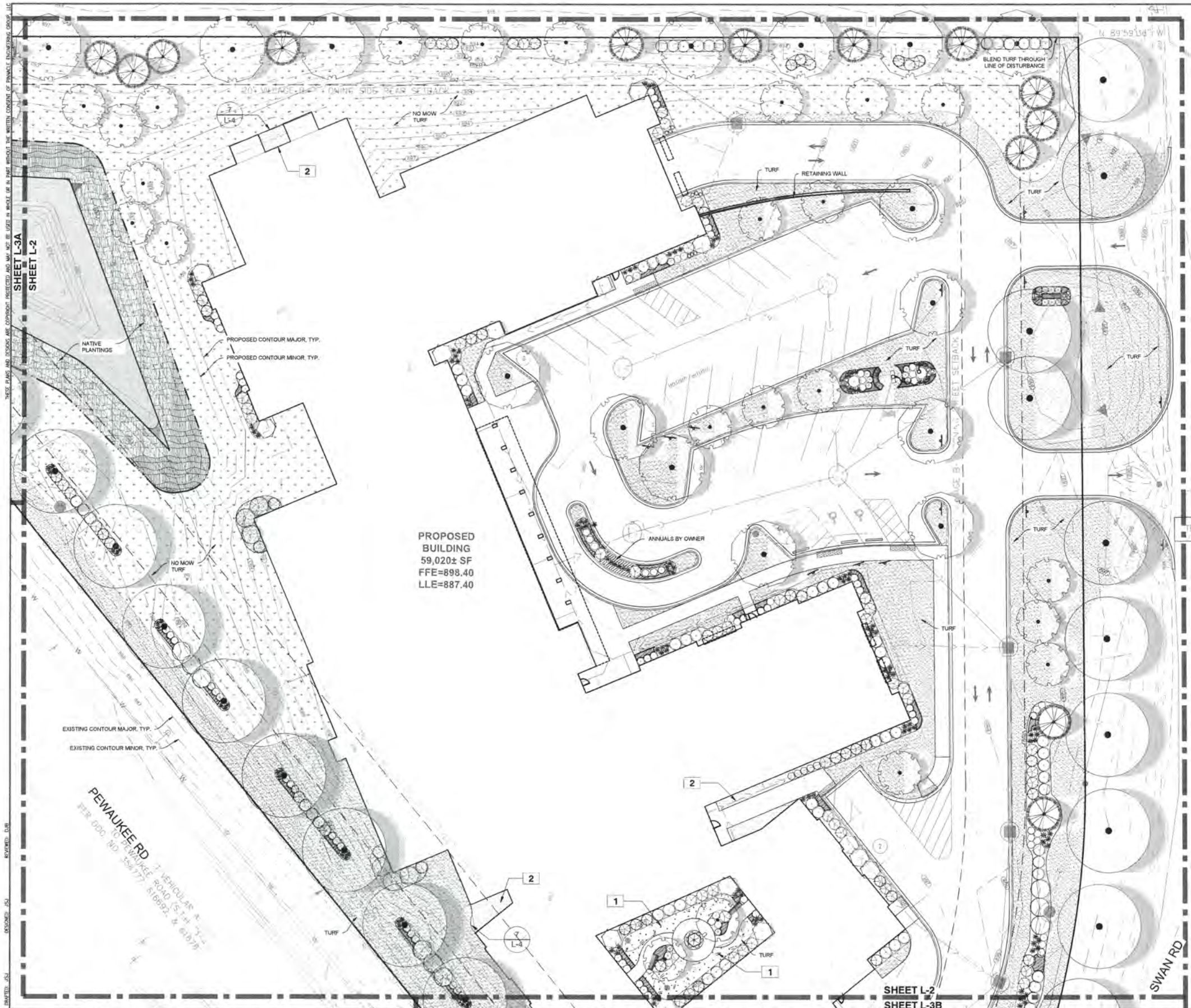
CONCEPT PLANT SCHEDULE			
	DECIDUOUS TREE Acer freemanii / Autumn Fantasy / Autumn Fantasy Maple Acer saccharum / Sugar Maple Celtis occidentalis / Chicagoland / Chicagoland Hackberry Gleditsia triacanthos inermis / Shademaster / Shademaster Locust Gymnocladus dioica / Kentucky Coffee Tree Quercus x schuetti / Swamp Bur Oak Tilia tomentosa / Sterling / Sterling Silver Linden Ulmus x 'New Horizon' / New Horizon Elm	17	1.5' Cal. 1.5' Cal. 1.5' Cal. 1.5' Cal. 1.5' Cal. 1.5' Cal. 1.5' Cal.
	ORNAMENTAL TREE Amelanchier x grandiflora / Autumn Brilliance / Autumn Brilliance Serviceberry MS Cornus mas / Golden Glory / Golden Glory Corneliancherry Maackia amurensis / Amur Maackia Malus x 'Prairie Maid' / Prairie Maid Crabapple Malus x 'Royal Raindrops' / Royal Raindrops Crabapple MS Malus x 'Sugar Tyme' / Sugar Tyme Crabapple	36	6' Ht. 1' Cal. 1' Cal. 1' Cal. 6' Ht. 1' Cal.
	EVERGREEN TREE Juniperus virginiana / Eastern Red Cedar Picea glauca / Densata / Black Hills Spruce Pinus strobus / White Pine	17	5' Ht. 5' Ht. 5' Ht.
	STREET TREES Acer freemanii / Autumn Fantasy / Autumn Fantasy Maple Acer saccharum / Sugar Maple Celtis occidentalis / Chicagoland / Chicagoland Hackberry Gleditsia triacanthos inermis / Shademaster / Shademaster Locust Gymnocladus dioica / Kentucky Coffee Tree Quercus x schuetti / Swamp Bur Oak Tilia tomentosa / Sterling / Sterling Silver Linden Ulmus x 'New Horizon' / New Horizon Elm	34	1.5' Cal. 1.5' Cal. 1.5' Cal. 1.5' Cal. 1.5' Cal. 1.5' Cal. 1.5' Cal.
	LARGE EVERGREEN SHRUB Juniperus chinensis / Mountbatten / Mountbatten Juniper Juniperus x 'J.N Select Blue' / Star Power Juniper Thuja occidentalis / Holmstrup / Holmstrup Cedar	16	4' Ht. 4' Ht. 4' Ht.
	LARGE DECIDUOUS SHRUB Aesculus parviflora / Bottlebrush Buckeye Cephalanthus occidentalis / Ping Pong / Ping Pong Buttonbush Physocarpus opulifolius / Center Glow / Center Glow Ninebark	20	3 gal. 3 gal. 3 gal.
	MEDIUM EVERGREEN SHRUB Juniperus chinensis / Old Gold / Old Gold Juniper Juniperus chinensis / Sea Green / Sea Green Juniper Juniperus virginiana / Grey Owl / Eastern Redcedar Juniper Pinus mugo pumilio / Dwarf Mugo Pine Taxus x media / Densiformis / Dense Yew Taxus x media / Tauntoni / Taunt Yew Tsuga canadensis / MonKinn / Golden Duchass Hemlock	111	3 gal. 3 gal. 3 gal. 3 gal. 3 gal. 3 gal. 3 gal.
	MEDIUM DECIDUOUS SHRUB Hydrangea arborescens / Annabelle / Annabelle Smooth Hydrangea Hydrangea p. / Vanilla Strawberry / Vanilla Strawberry Hydrangea Hydrangea quercifolia / Ruby Slippers / Ruby Slippers Hydrangea Ilex verticillata / Jim Dandy / Jim Dandy Winterberry Ilex verticillata / Red Sprite / Red Sprite Winterberry Physocarpus opulifolius / Seward / Summer Wine Ninebark Rosa rugosa / Purple Pavement / Purple Pavement Rugosa Rose Rosa x 'Radtko' / Double Knock Out Rose Syringa meyeri / Palbin / Dwarf Korean Lilac Weigela florida / Alexandra / Wine & Roses Weigela	93	2 gal. 2 gal. 2 gal. 2 gal. 2 gal. 2 gal. 2 gal. 2 gal. 2 gal. 2 gal.
	SMALL EVERGREEN SHRUB Juniperus sabinia / Buffalo / Buffalo Juniper Microbiota decussata / Siberian Carpet Cypress Picea abies / Nidiformis / Nest Spruce Pinus mugo / Slowmound / Mugo Pine Taxus x media / Everlow / Everlow Yew Thuja occidentalis / Congabe / Fir Chief Arborvitae	14	2 gal. 2 gal. 2 gal. 2 gal. 2 gal. 2 gal.
	SMALL DECIDUOUS SHRUB Cornus stolonifera / Arctic Fire / Arctic Fire Dogwood Diervilla lonicera / Kodiak Orange / Kodiak Orange Diervilla Hydrangea arborescens / NCHA1 / Invincible Spirit Hydrangea Hydrangea paniculata / Bobo / Bobo Hydrangea Itea virginica / Little Henry / Little Henry Sweetpire Rosa x 'Coral Cove' / Coral Cove Rose Spiraea japonica / Magic Carpet / Magic Carpet Spirea Syringa x 'SMSJB77' TM / Bloomerang Dark Purple Lilac	120	2 gal. 2 gal. 2 gal. 2 gal. 2 gal. 2 gal. 2 gal. 2 gal.
	TALL ORNAMENTAL GRASS Andropogon gerardi / Dancing Wind / Dancing Wind Big Blue Stem Calamagrostis x a / Karl Foerster / Karl Foerster Reed Grass Calamagrostis x a / Overdam / Overdam Reed Grass Miscanthus sinensis / Morning Light / Eulalia Grass Miscanthus sinensis / Oktoberfest / Oktoberfest Miscanthus Panicum virgatum / Northwind / Northwind Switch Grass Schizachyrium scoparium / Blue Heaven / Blue Heaven Little Bluestem Grass	196	1 gal. 1 gal. 1 gal. 1 gal. 1 gal. 1 gal. 1 gal.
	SHORT ORNAMENTAL GRASS Deschampsia cespitosa / Tufted Hair Grass Eragrostis spectabilis / Purple Love Grass Sporobolus heterolepis / Tara / Prairie Dropseed	16	1 gal. 1 gal. 1 gal.
	PERENNIALS VARIOUS PERENNIALS	822 sf	4.5" Cont.
	RAINWATER RENEWAL MIX Native Plantings / AGRECO, RAINWATER RENEWAL MIX	6,937 sf	seed
	TURF Turf Hydroseed / Reinders - Cadet 70/30 Fescue/Blue Mix	50,552 sf	seed
	NO MOW TURF Turf Hydroseed Low Grow / Reinders No Mow/Low Grow Mix	29,399 sf	seed

PINNACLE ENGINEERING GROUP
 ENGINEERING | NATURAL RESOURCES | SURVEYING
 WISCONSIN OFFICE: 10700 WATERLOO ROAD, SUITE 100, BROOKFIELD, WI 53005 (262) 754-8888
 CHICAGO OFFICE: 1100 N. LAKE STREET, SUITE 200, CHICAGO, IL 60610 (773) 754-8888

PEWAUKEE SENIOR LIVING
 NE CORNER OF HWY 164 & SWAN RD

LANDSCAPE OVERVIEW

REVISIONS		SHEET
NO.	DATE	
		L-1
		L-4



PROPOSED BUILDING
59,020± SF
FFE=898.40
LLE=887.40

CONCEPT PLANT KEY

- DECIDUOUS TREE**
 - Acer freemanii / Autumn Fantasy / Autumn Fantasy Maple
 - Acer saccharum / Sugar Maple
 - Celtis occidentalis / Chicagoland / Chicagoland Hackberry
 - Gleditsia triacanthos inermis / Shademaster / Shademaster Locust
 - Gymnocladus dioica / Kentucky Coffee Tree
 - Quercus x schuettei / Swamp Bur Oak
 - Tilia tomentosa / Sterling / Sterling Silver Linden
 - Ulmus x 'New Horizon' / New Horizon Elm
- ORNAMENTAL TREE**
 - Amelanchier x grandiflora / Autumn Brilliance / Autumn Brilliance Serviceberry
 - Cornus mas / Golden Glory / Golden Glory Corneliancherry
 - Maackia amurensis / Amur Maackia
 - Malus x 'Prairie Maid' / Prairie Maid Crabapple
 - Malus x 'Royal Raindrops' / Royal Raindrops Crabapple MS
 - Malus x 'Sugar Tyme' / Sugar Tyme Crabapple
- EVERGREEN TREE**
 - Juniperus virginiana / Eastern Red Cedar
 - Picea glauca / Denseata / Black Hills Spruce
 - Pinus strobus / White Pine
- STREET TREES**
 - Acer freemanii / Autumn Fantasy / Autumn Fantasy Maple
 - Acer saccharum / Sugar Maple
 - Celtis occidentalis / Chicagoland / Chicagoland Hackberry
 - Gleditsia triacanthos inermis / Shademaster / Shademaster Locust
 - Gymnocladus dioica / Kentucky Coffee Tree
 - Quercus x schuettei / Swamp Bur Oak
 - Tilia tomentosa / Sterling / Sterling Silver Linden
 - Ulmus x 'New Horizon' / New Horizon Elm
- LARGE EVERGREEN SHRUB**
 - Juniperus chinensis 'Mountbatten' / Mountbatten Juniper
 - Juniperus x 'J.N Select Blue' / Star Power Juniper
 - Thuja occidentalis 'Holmstrup' / Holmstrup Cedar
- LARGE DECIDUOUS SHRUB**
 - Aesculus parviflora / Bottlebrush Buckeye
 - Cephalanthus occidentalis 'Ping Pong' / Ping Pong Buttonbush
 - Physocarpus opulifolius 'Center Glow' / Center Glow Ninebark
- MEDIUM EVERGREEN SHRUB**
 - Juniperus chinensis 'Old Gold' / Old Gold Juniper
 - Juniperus chinensis 'Sea Green' / Sea Green Juniper
 - Juniperus virginiana 'Grey Owl' / Eastern Redcedar Juniper
 - Pinus mugo pumilio / Dwarf Mugo Pine
 - Taxus x media 'densiformis' / Dense Yew
 - Taxus x media 'tauroni' / Tauron Yew
 - Tsuga canadensis 'Monk' / Golden Duchess Hemlock
- MEDIUM DECIDUOUS SHRUB**
 - Hydrangea arborescens 'Annabelle' / Annabelle Smooth Hydrangea
 - Hydrangea p 'Vanilla Strawberry' / Vanilla Strawberry Hydrangea
 - Hydrangea quercifolia 'Ruby Slippers' / Ruby Slippers Hydrangea
 - Hydrangea verticillata 'Jim Dandy' / Jim Dandy Winterberry
 - Ilex verticillata 'Red Sprite' / Red Sprite Winterberry
 - Physocarpus opulifolius 'Seward' / Summer Wine Ninebark
 - Rosa rugosa 'Purple Pavement' / Purple Pavement Rugosa Rose
 - Rosa x 'Radtko' / Double Knock Out Rose
 - Syringa meyeri 'Palibin' / Dwarf Korean Lilac
 - Weigela florida 'Alexandra' / Wine & Roses Weigela
- SMALL EVERGREEN SHRUB**
 - Juniperus sabina 'Buffalo' / Buffalo Juniper
 - Microbiota decussata / Siberian Carpet Cypress
 - Picea abies 'Nidiformis' / Nest Spruce
 - Pinus mugo 'Slowmound' / Mugo Pine
 - Taxus x media 'Everlow' / Everlow Yew
 - Thuja occidentalis 'Congabe' / Fire Chief Arborvitae
- SMALL DECIDUOUS SHRUB**
 - Cornus stolonifera / Arctic Fire / Arctic Fire Dogwood
 - Diervilla lonicera 'Kodiak Orange' / Kodiak Orange Diervilla
 - Hydrangea arborescens 'NCHA' / Invincible Spirit Hydrangea
 - Hydrangea paniculata 'Bobo' / Bobo Hydrangea
 - Ilex virginica 'Little Henry' / Little Henry Sweetpire
 - Rosa x 'Coral Cove' / Coral Cove Rose
 - Spiraea japonica 'Magic Carpet' / Magic Carpet Spirea
 - Syringa x 'SMS.BP7' TM / Blooming Dark Purple Lilac
- TALL ORNAMENTAL GRASS**
 - Andropogon gerardi 'Dancing Wind' / Dancing Wind Big Blue Stem
 - Calamagrostis x a 'Karl Foerster' / Karl Foerster Reed Grass
 - Calamagrostis x a 'Overdam' / Overdam Reed Grass
 - Miscanthus sinensis 'Morning Light' / Eulalia Grass
 - Miscanthus sinensis 'Oktoberfest' / Oktoberfest Miscanthus
 - Panicum virgatum 'Northwind' / Northwind Switch Grass
 - Schizachyrium scoparium 'Blue Heaven' / Blue Heaven Little Bluestem Grass
- SHORT ORNAMENTAL GRASS**
 - Deschampsia cespitosa / Tufted Hair Grass
 - Eragrostis spectabilis / Purple Love Grass
 - Sporobolus heterolepis 'Tara' / Prairie Dropseed

REFERENCE KEY

- SYMBOL DESCRIPTION**
- CRUSHED GRANITE/STONE
- STONE MULCH- EITHER APLINE WHITE OR ROUND RAPIDS
- NORTH**
- GRAPHICAL SCALE (FEET)**
0 1" = 20' 40'
- PERENNIALS**
Various Species
- RAINWATER RENEWAL MIX**
Native Plantings / AGRECOOL RAINWATER RENEWAL MIX
- TURF**
Turf Hydroseed / Reinders - Cadet 70/30 Fescue/Blue Mix
- NO MOW TURF**
Turf Hydroseed Low Grow / Reinders No Mow/Low Grow Mix

PLAN | DESIGN | DELIVER
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PINNACLE ENGINEERING GROUP
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WISCONSIN OFFICE
20715 WATERLOO ROAD, SUITE 100
BROOKFIELD, WI 53005
(262) 754-8888
LARGO/MILWAUKEE: FRANKLIN

PEWAUKEE SENIOR LIVING

NE CORNER OF HWY 164 & SWAN RD

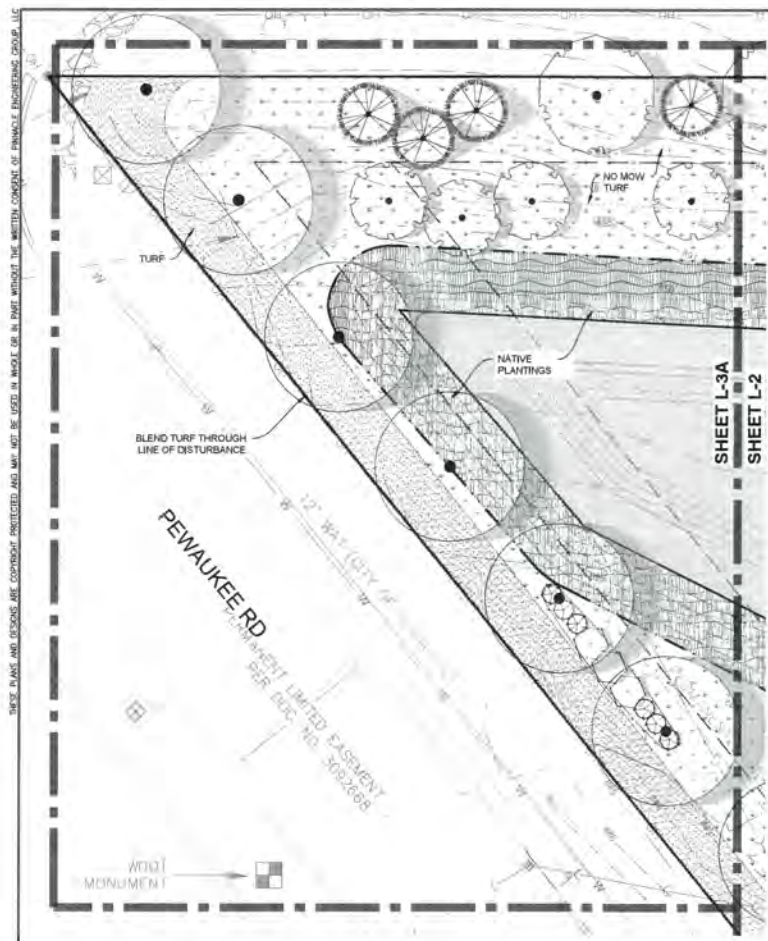
LANDSCAPE ENLARGEMENT

REVISIONS	DATE	BY	DESCRIPTION

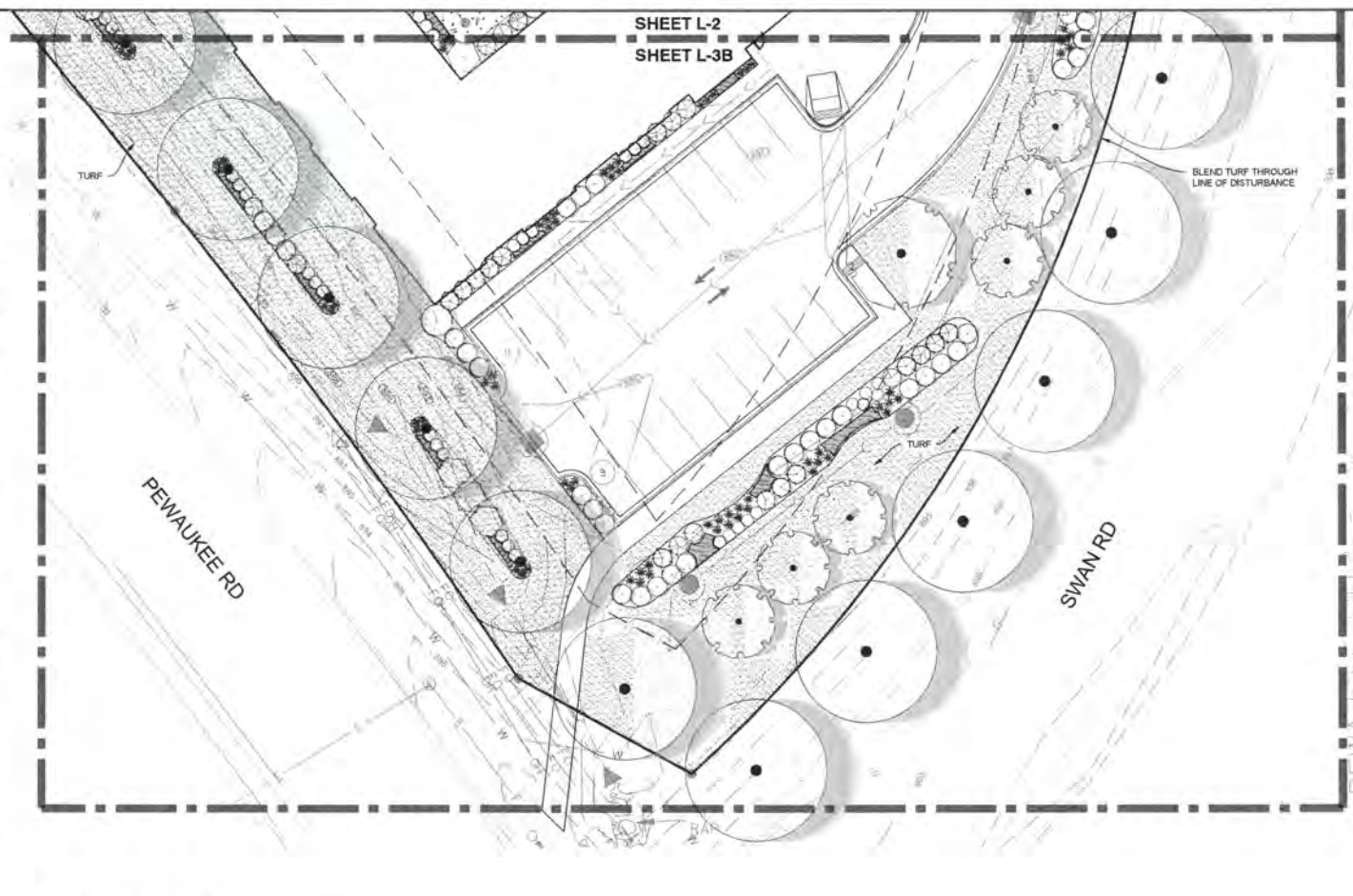
REC'D BY: []
MIS: []
START DATE: 11/17/21
SCALE: 1" = 20'

SHEET L-2
L-4

Z:\PROJECTS\2020\1910.00-WI\CAD\SHETS\1910.00-WI LANDSCAPE PLAN.DWG



ENLARGEMENT L-3A
SCALE: 1"=20'



ENLARGEMENT L-3B
SCALE: 1"=20'

CONCEPT PLANT KEY

DECIDUOUS TREE

- Acer freemanii / Autumn Fantasy / Autumn Fantasy Maple
- Acer saccharum / Sugar Maple
- Celtis occidentalis / Chicagoland / Chicagoland Hackberry
- Gleditsia triacanthos inermis / Shademaster / Shademaster Locust
- Gymnocladus dioica / Kentucky Coffee Tree
- Quercus x schuettei / Swamp Bur Oak
- Tilia tomentosa / Sterling / Sterling Silver Linden
- Ulmus x 'New Horizon' / New Horizon Elm

ORNAMENTAL TREE

- Amelanchier x grandiflora / Autumn Brilliance / Autumn Brilliance Serviceberry MS
- Cornus mas / Golden Glory / Golden Glory Corneliancherry
- Malus amurensis / Amur Malus
- Malus x 'Prairie Maid' / Prairie Maid Crabapple
- Malus x 'Royal Raindrops' / Royal Raindrops Crabapple MS
- Malus x 'Sugar Tyme' / Sugar Tyme Crabapple

EVERGREEN TREE

- Juniperus virginiana / Eastern Red Cedar
- Picea glauca / Densata / Black Hills Spruce
- Pinus strobus / White Pine

STREET TREES

- Acer freemanii / Autumn Fantasy / Autumn Fantasy Maple
- Acer saccharum / Sugar Maple
- Celtis occidentalis / Chicagoland / Chicagoland Hackberry
- Gleditsia triacanthos inermis / Shademaster / Shademaster Locust
- Gymnocladus dioica / Kentucky Coffee Tree
- Quercus x schuettei / Swamp Bur Oak
- Tilia tomentosa / Sterling / Sterling Silver Linden
- Ulmus x 'New Horizon' / New Horizon Elm

LARGE EVERGREEN SHRUB

- Juniperus chinensis / Mountbatten / Mountbatten Juniper
- Juniperus x 'J.N Select Blue' / Star Power Juniper
- Thuja occidentalis / Holmstrup / Holmstrup Cedar

LARGE DECIDUOUS SHRUB

- Aesculus parviflora / Bottlebrush Buckeye
- Cephalanthus occidentalis / Ping Pong / Ping Pong Buttonbush
- Physocarpus opulifolius / Center Glow / Center Glow Ninebark

MEDIUM EVERGREEN SHRUB

- Juniperus chinensis / Old Gold / Old Gold Juniper
- Juniperus chinensis / Sea Green / Sea Green Juniper
- Juniperus virginiana / Grey Owl / Eastern Redcedar Juniper
- Pinus mugo pumilio / Dwarf Mugo Pine
- Taxus x media / Densiformis / Dense Yew
- Taxus x media / Tauntonii / Tauntou Yew
- Tsuga canadensis / MonKini / Golden Duchess Hemlock

MEDIUM DECIDUOUS SHRUB

- Hydrangea arborescens / Annabelle / Annabelle Smooth Hydrangea
- Hydrangea p 'Vanilla Strawberry' / Vanilla Strawberry Hydrangea
- Hydrangea quercifolia / Ruby Slippers / Ruby Slippers Hydrangea
- Ilex verticillata / Jim Dandy / Jim Dandy Winterberry
- Ilex verticillata / Red Sprite / Red Sprite Winterberry
- Physocarpus opulifolius / Seward / Summer Wine Ninebark
- Rosa rugosa / Purple Pavement / Purple Pavement Rugosa Rose
- Rosa x 'Redtko' / Double Knock Out Rose
- Syringa meyeri / Palbin / Dwarf Korean Lilac
- Weigela florida / Alexandra / Wine & Roses Weigela

SMALL EVERGREEN SHRUB

- Juniperus sabina / Buffalo / Buffalo Juniper
- Microbiota decussata / Siberian Carpet Cypress
- Picea abies / Nidiformis / Nest Spruce
- Pinus mugo / Slowmound / Mugo Pine
- Taxus x media / Ewelow / Ewelow Yew
- Thuja occidentalis / Congabe / Fire Chief Arborvitae

SMALL DECIDUOUS SHRUB

- Cornus stolonifera / Arctic Fire / Arctic Fire Dogwood
- Diervilla lonicera / Kodiak Orange / Kodiak Orange Diervilla
- Hydrangea arborescens / NCHA1 / Invisibile Spirit Hydrangea
- Hydrangea paniculata / Bobo / Bobo Hydrangea
- Itea virginica / Little Henry / Little Henry Sweetspice
- Rosa x 'Coral Cove' / Coral Cove Rose
- Spiraea japonica / Magic Carpet / Magic Carpet Spiraea
- Syringa x 'SMSJBP7' TM / Blooming Dark Purple Lilac

TALL ORNAMENTAL GRASS

- Andropogon gerardi / Dancing Wind / Dancing Wind Big Blue Stem
- Calamagrostis x a / Karl Foerster / Karl Foerster Reed Grass
- Calamagrostis x a / Overdam / Overdam Reed Grass
- Miscanthus sinensis / Morning Light / Eulalia Grass
- Miscanthus sinensis / Oktoberfest / Oktoberfest Miscanthus
- Panicum virgatum / Northwind / Northwind Switch Grass
- Schizachyium scoparium / Blue Heaven / Blue Heaven Little Bluestem Grass

SHORT ORNAMENTAL GRASS

- Deschampsia cespitosa / Tutted Hair Grass
- Eragrostis spectabilis / Purple Love Grass
- Sporobolus heterolepis / Tara / Prairie Dropseed

PERENNIALS

- Various Species

RAINWATER RENEWAL MIX

- Native Plantings / AGRECOL RAINWATER RENEWAL MIX

TURF

- Turf Hydrosed / Reinders - Cadet 70/50 Fescue/Blue Mix

NO MOW TURF

- Turf Hydrosed Low Grow / Reinders No Mow/Low Grow Mix

REFERENCE KEY

SYMBOL	DESCRIPTION
[Pattern]	CRUSHED GRANITE/STONE
[Pattern]	STONE MULCH-EITHER APLINE WHITE OR ROUND RAPIDS

GRAPHICAL SCALE (FEET)

0 1" = 20' 40'

NORTH

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PINNACLE ENGINEERING GROUP

WISCONSIN OFFICE:
2075 WATERLOO ROAD, SUITE 300
BROOKFIELD, WI 53146
TEL: 764-9289

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PEWAUKEE SENIOR LIVING

NE CORNER OF HWY 164 & SWAN RD

LANDSCAPE ENLARGEMENT

REVISIONS

NO.	DATE	DESCRIPTION

REG. NO. W32310.0033E
M.S.
START DATE: 11/17/21
SCALE: 1"=20'

SHEET
L-3
L-4

Z:\PROJECTS\2020\1910-00-WI\CAD\SHETS\1910-00-WI LANDSCAPE PLAN.DWG

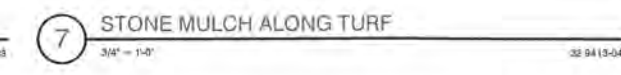
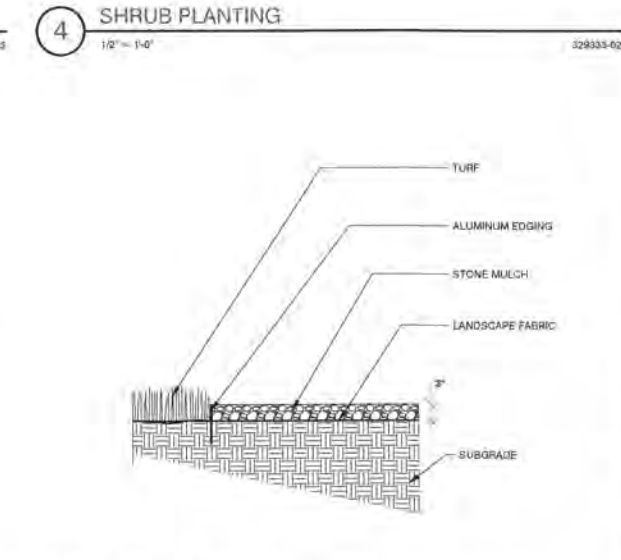
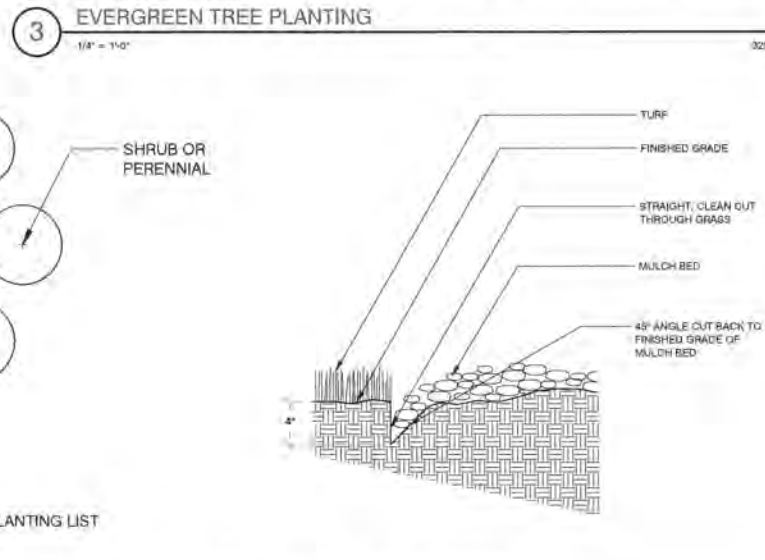
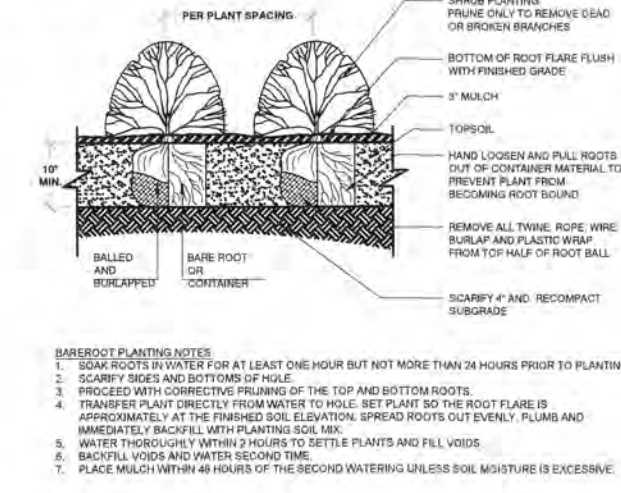
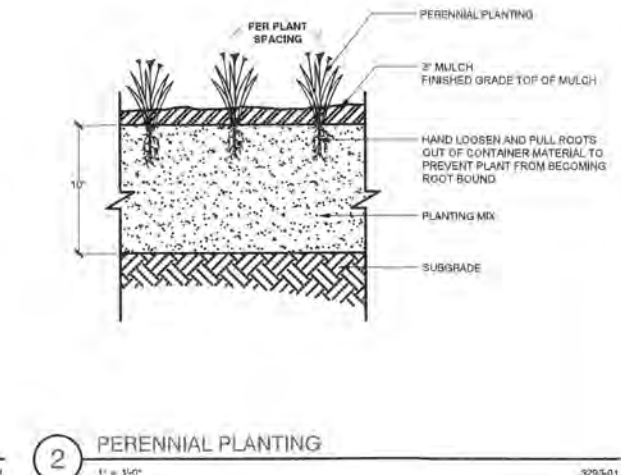
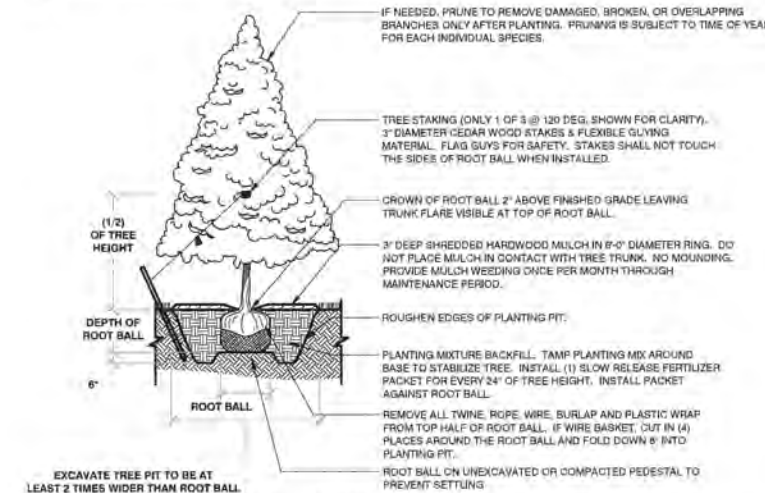
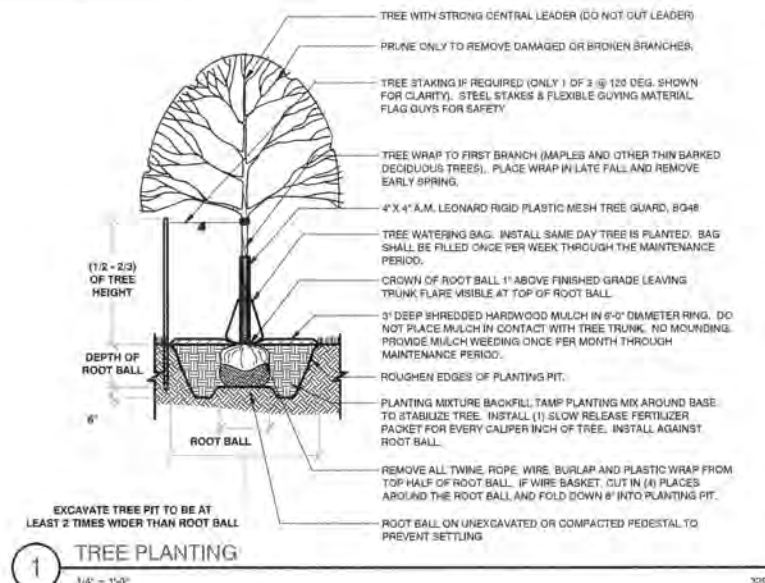
GENERAL PLANTING NOTES

- THE LAYOUT OF ALL PLANTING BEDS AND INDIVIDUAL TREES AND SHRUBS SHALL BE STAKED BY THE CONTRACTOR IN ADVANCE OF INSTALLATION. FLAGGING, STAKES, OR PAINT MAY BE USED TO DELINEATE LOCATIONS AS SCALED FROM THE PLANS. AN APPROVED REPRESENTATIVE WILL REVIEW THESE LOCATIONS WITH THE CONTRACTOR AND MAKE MINOR ADJUSTMENTS AS NECESSARY. BED LAYOUT SHALL ALSO INCLUDE PERENNIAL GROUPINGS BY SPECIES.
- THE CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING THE PLANT MATERIAL QUANTITIES REQUIRED BY THE LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
- NO PLANT MATERIAL OR PLANT SIZE SUBSTITUTIONS WILL BE ACCEPTED WITHOUT APPROVAL BY THE LANDSCAPE ARCHITECT. ANY CHANGES SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT IN WRITING PRIOR TO INSTALLATION.
- ALL BNB STOCK SHALL BE NURSERY GROWN IN A CLAY LOAM SOIL FOR A MINIMUM OF THREE GROWING SEASONS WITHIN 200 MILES OF PROJECT LOCATION, IN A ZONE COMPATIBLE WITH USDA HARDINESS ZONE 5A. SEED SHALL BE PROVIDED FROM A NURSERY (WITHIN 200 MILES) WITH A SIMILAR PLANT HARDINESS ZONE AS PROJECT LOCATION. EXISTING SOIL SHALL BE AMENDED PER SOIL ANALYSIS REPORT TO ENSURE A PROPER GROWING MEDIUM IS ACHIEVED.
- ALL PLANT MATERIAL SHALL COMPLY WITH STANDARDS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK - Z60.1 ANSI. LANDSCAPE ARCHITECT OR OWNERS AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND POTENTIALLY REJECT ANY PLANT MATERIAL DEEMED TO NOT MEET THE REQUIRED STANDARDS.
- ALL STOCK SHALL BE FREE OF DISEASES AND HARMFUL INSECTS, DAMAGE, DISORDERS AND DEFORMITIES.
- TREES SHALL HAVE SINGLE, STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. MULTI-STEM TREES SHALL HAVE 3-4 STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. HEIGHT-TO-CALIPER RATIOS SHALL BE CONSISTENT WITH THE LATEST EDITION OF ANSI Z60.1.
- ROOT SYSTEMS SHALL BE LARGE ENOUGH TO ALLOW FOR FULL RECOVERY OF THE TREE AND SHALL CONFORM TO STANDARDS AS THEY APPEAR IN THE MOST CURRENT REVISION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1.
- BNB TREES SHALL BE DUG WITH A BALL OF SOIL, NOT SOFT BALLED OR POTTED AND SHALL BE FIRM IN THEIR ROOTBALL. ROOT BALL SHALL BE WRAPPED (WITH BIODEGRADABLE MATERIAL). THE TREE ROOT FLARE, OR COLLAR, SHALL BE AT OR WITHIN THE TOP THREE INCHES OF GRADE.
- ALL SPRING TREES MUST BE FRESHLY DUG IN THE MOST RECENT SPRING.
- ALL AUTUMN TREES MUST BE FRESHLY DUG IN THE MOST RECENT AUTUMN.
- TREES SHALL BE ALIVE, HEALTHY AND APPROPRIATELY MOIST, AT TIME OF DELIVERY. TREES SHALL BE SUBJECT TO INSPECTION FOR CONFORMITY TO SPECIFICATION REQUIREMENTS AND APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE. THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY TREES THAT DO NOT MEET THE SPECIFICATIONS OR THAT HAVE BEEN DAMAGED DURING SHIPMENT. THE LANDSCAPE INSTALLER MUST RECEIVE APPROVAL FROM LANDSCAPE ARCHITECT FOR ANY SUBSTITUTIONS OR ALTERATIONS.
- ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH PLANTING DETAILS.
- ALL PLANTING BEDS SHALL HAVE A MINIMUM 10" DEPTH OF PREPARED SOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 10" OF SOIL. REFER TO SOIL PLACEMENT NOTES.
- WHILE PLANTING TREES AND SHRUBS, BACKFILL 2/3 OF PLANTING HOLE AND WATER TREE THOROUGHLY BEFORE INSTALLING THE REMAINDER OF SOIL MIXTURE. AFTER ALL SOIL HAS BEEN PLACED INTO THE PLANTING HOLE WATER THOROUGHLY AGAIN.
- THE CONTRACTOR MUST LABEL ALL TREES WITH THE COMMON AND BOTANICAL NAMES PRIOR TO FINAL INSPECTION.
- ALL PLANTING BEDS SHALL BE MULCHED WITH 3" DEEP SHREDDED HARDWOOD MULCH, AND ALL TREES PLANTED IN TURF AREAS SHALL RECEIVE A 3" DEEP SHREDDED HARDWOOD MULCHED RING AS SHOWN IN PLANTING DETAILS.
- ALL PLANTING BEDS AND TREE RINGS SHALL HAVE A 4" DEEP TRENCHED BED EDGE CREATED BY EITHER A FLAT LANDSCAPE SPADE OR MECHANICAL EDGER. BED EDGES ARE TO BE CUT CLEAN AND SMOOTH AS SHOWN ON LANDSCAPE PLANS WITH A CLEAR DEFINITION BETWEEN TURF AND PLANTING AREAS.
- AREAS THAT CALL FOR STONE MULCH SHALL RECEIVE LANDSCAPE FABRIC WITH 3" DEEP ALPINE STONE MULCH. REFER TO DETAILS (L-7). CONTRACTOR TO PROVIDE LANDSCAPE FABRIC AND MULCH SPECIFICATIONS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. LANDSCAPE FABRIC SHALL BE INSTALLED TO COVER THE ENTIRE AREA TO RECEIVE STONE MULCH WITH EACH SEAM OVERLAPPING A MINIMUM OF 6".
- ALL TURF SEED AREAS SHALL RECEIVE A MINIMUM OF 6" DEPTH OF TOPSOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 6" OF SOIL AS INDICATED IN THE SOIL PLACEMENT NOTES. REQUIRED AMENDMENTS SHALL BE DETERMINED BASED ON A SOIL ANALYSIS TO BE PERFORMED. ALL TOPSOIL AMENDMENT SHALL BE AGED WEED FREE MANURE OR CLASS 1 ORGANIC MATTER.
- FOR LAWN SEEDING, APPLY A STARTER FERTILIZER AND SEED UNIFORMLY AT THE RATE RECOMMENDED BY MANUFACTURER, AND PROVIDE A MULCH COVERING THAT IS SUITABLE TO PROMOTE SEED GERMINATION AND TURF ESTABLISHMENT. CONTRACTOR TO PROVIDE FERTILIZER, SEED, AND MULCH SPECIFICATIONS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. EROSION CONTROL MEASURES ARE TO BE INSTALLED IN THOSE AREAS REQUIRING STABILIZATION (SWALES, SLOPES EXCEEDING 1:3 AND THOSE LOCATIONS INDICATED IN CIVIL DRAWINGS).
- THE CONTRACTOR TO ENSURE A SMOOTH, UNIFORM QUALITY TURF IS ACHIEVED WITH NO BARE SPOTS LARGER THAN 6" X 6". ANY BARE SPOTS LARGER THAN 6" X 6" AT THE END OF ESTABLISHMENT PERIOD SHALL BE RESEED AT THE CONTRACTORS EXPENSE TO
- ALL FINISH GRADING AND LAWN AREAS TO BE INSTALLED BY LANDSCAPE CONTRACTOR.
- ALL DISTURBED AREAS WITHIN THE PROJECT SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
- ALL DISTURBED AREAS OUTSIDE THE LIMITS OF WORK SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT NO ADDITIONAL COST TO THE OWNER.

- THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, INCLUDING ANY IRRIGATION LINES, PRIOR TO DIGGING. CONSULT DIGGERS HOTLINE.
- TREES SHALL BE INSTALLED NO CLOSER THAN:
 - 10 FEET FROM ANY FIRE HYDRANT
 - 7 FEET FROM STORM SEWER, SANITARY SEWER LATERALS, AND WATER SERVICE
- THE CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, FEES, AND LICENSES NECESSARY FOR THE INSTALLATION OF THIS PLAN.
- THE CONTRACTOR IS TO REVIEW ALL SITE ENGINEERING DOCUMENTS PRIOR TO INSTALLATION. ANY CONFLICTS MUST BE REPORTED TO THE LANDSCAPE ARCHITECT. THESE LANDSCAPE DRAWINGS ARE FOR THE INSTALLATION OF PLANT MATERIALS ONLY UNLESS OTHERWISE STATED.
- THE CONTRACTOR SHALL PROVIDE WATERING AND MAINTENANCE SERVICES FOR A PERIOD OF 60 DAYS TO ENSURE VEGETATIVE ESTABLISHMENT. UPON COMPLETION OF THE PROJECT, CONTRACTOR SHALL SUPPLY THE OWNER IN WRITING WITH ONGOING WATERING AND MAINTENANCE INSTRUCTIONS.
- PLANT MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM TIME OF OWNER ACCEPTANCE. ONLY ONE REPLACEMENT PER PLANT WILL BE REQUIRED DURING THE WARRANTY PERIOD EXCEPT IN THE EVENT OF FAILURE TO COMPLY WITH THE SPECIFIED REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO CONDUCT A FINAL WALK THROUGH WITH THE LANDSCAPE ARCHITECT AND OR OWNERS REPRESENTATIVE TO ANSWER QUESTIONS, PROVIDE INSTRUCTIONS, AND ENSURE THAT PROJECT REQUIREMENTS HAVE BEEN MET.

SOIL PLACEMENT NOTES

- LOOSEN SUBGRADE TO A MINIMUM DEPTH INDICATED IN PLANTING NOTES USING A CULTI-MULCHER OR SIMILAR EQUIPMENT, AND REMOVE STONES MEASURING OVER 1-1/2 INCHES IN ANY DIMENSION, STICKS, RUBBISH AND OTHER EXTRANEIOUS MATTER. AREAS ADJACENT TO WALKS AND PAVEMENT SHALL BE FREE OF EXCESS STONE AND PAVING MATERIALS SO AS TO PROVIDE AN UNINTERRUPTED CROSS SECTION OF SOIL. INTERNAL PARKING ISLANDS SHALL BE LOOSENED TO A DEPTH OF 30".
- THOROUGHLY BLEND PLANTING SOIL MIX FOR PLANTING BED AREAS. (1 PART EXISTING SOIL, 1 PART TOPSOIL, 1 PART ORGANIC SOIL AMENDMENT, 2.9 POUNDS PER CUBIC YARD OF 4-4-4 ANALYSIS SLOW-RELEASE FERTILIZER)
- TREE AND SHRUB HOLES SHALL BE FILLED WITH A PREPARED PLANTING MIXTURE OF 1 PART TOPSOIL, 2 PARTS PLANTING SOIL MIX.
- SPREAD SOIL AND SOIL AMENDMENTS TO DEPTH INDICATED ON DRAWINGS, BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. (FINISH GRADE OF PLANTING BEDS SHALL BE 3" BELOW ALL ADJACENT SURFACES. FINISH GRADE OF TURF SEEDING AREAS SHALL BE 1" BELOW ALL ADJACENT HARD SURFACES, WALKS, AND CURBS.)
- PLACE APPROXIMATELY 1/2 OF TOTAL AMOUNT OF SOIL REQUIRED, WORK INTO TOP OF LOOSENED SUBGRADE TO CREATE A TRANSITION LAYER, THEN PLACE REMAINDER OF THE SOIL. SOIL TRANSITION LAYER SHALL BE TILLED TO A MINIMUM DEPTH OF 6" BELOW THE DEPTH OF NEWLY PLACED SOIL. PARKING LOT ISLANDS SHALL BE CROWNED TO A HEIGHT OF 6" TO PROVIDE PROPER DRAINAGE UNLESS OTHERWISE NOTED.
- DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
- FINISH GRADING: GRADE SOIL TO A SMOOTH, UNIFORM SURFACE PLANE WITH A LOOSE, UNIFORMLY FINE TEXTURE.
- ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES.
- RESTORE PLANTING BEDS IF ERODED OR OTHERWISE DISTURBED AFTER FINISH GRADING AND BEFORE PLANTING.



PLAN | DESIGN | DELIVER

PINNACLE ENGINEERING GROUP

ENGINEERING | NATURAL RESOURCES | SURVEYING

WISCONSIN OFFICE: 1010 WATERSTON ROAD, SUITE 100, WISCONSIN, WI 53226-1400, TEL: 414-458-1100, FAX: 414-458-1101

PEWAUKEE SENIOR LIVING

NE CORNER OF HWY 164 & SWAN RD

LANDSCAPE GENERAL NOTES & DETAILS

REVISIONS		SHEET
NO.	DESCRIPTION	
		L-4
		L-4

STAFF REPORT

To: Village of Pewaukee Plan Commission

By: Mary Censky

Date Prepared: May 12, 2022

General Information:

Agenda Item: **6.c.**

Applicant:

Cornerstone Development (d/b/a The Glen at Pewaukee Lake LLC) in c/o Joe Orendorf and John Wahlen, and Alan Peters of True Vine Development

Property Owner:

The Glen at Pewaukee Lake LLC

Requested Action:

Review, discussion and consultative feedback to the applicant regarding possible rear yard offset flexibility in the Residential Infill-Redevelopment (RIR) Overlay District

Current Zoning:

R-5 Single-Family Residential District with RIR Overlay District

Current Master Plan Classification:

Single-Family Residential

Requested Master Plan Classification:

Single Family Residential

Surrounding Zoning/Land Use:

North: R-5 Single Family Residential
South: R-5 Single Family Residential
East: R-5 Single Family Residential
West: R-5 Single Family Residential

Lot Size:

14.08 acres

Location:

Near 449 W. Wisconsin Avenue.

Background/Discussion:

Following up on the topic discussion at last months Planning Commission meeting as to possibly adjusting the language of the Residential Infill-Redevelopment Overlay District to allow the Planning Commission the flexibility and authority to approve reductions in the rear yard requirement for select and particularly constrained lots, Staff offers the following for the Commissions review and consideration:

DIVISION 18.5. - RESIDENTIAL INFILL-REDEVELOPMENT OVERLAY DISTRICT

Sec. 40.367.7. - Setbacks and yards.

Setbacks and yards in the residential infill-redevelopment overlay district shall be as follows:

Setback: All principal structures shall be setback not less than 25 feet from any public right-of-way.

Sidyard: The principal residence structure, including any attached garage elements, and detached garages, shall be offset from the side lot lines by not less than ten feet on one side and not less than zero feet on the other side. Principal residence structures including any attached garage elements and permitted detached garages may adjoin (share a common wall) along one side in accordance with this sidyard offset schedule provided such buildings are properly designed and approved by the building inspector as to all applicable building and/or fire safety code standards.

Any detached principal residence structure and any detached garage structure that does not share a common wall with an adjoining principal building shall maintain not less than five-foot side yard offsets.

Rearyard: All buildings shall be offset from the rear lot line by not less than 20 feet. The Planning Commission may, at the time of plat review/approval, and upon specific request of the Developer, approve rear yard offset relief up to 10 feet for the attached, unenclosed, pervious deck portion of a principal residence provided the Developer shall first demonstrate that the lot:

- a) Abuts along the entirety of its rear yard to another lot or outlot located within the same development; and*
- b) Is so uniquely dimensioned or configured as to unduly constrain the inclusion of a reasonably sized attached, unenclosed, pervious deck feature in the house plan if the 20 foot rearyard setback required by this section is imposed.*

The Planning Commission shall also, first find that permitting an attached, unenclosed, pervious deck feature as close as 10 feet to a rear lot line on a particular lot will not result in adverse conditions affecting the abutting lots, the neighborhood or the Village as a whole with respect to for instance, but not necessarily limited to surface water drainage. If the request for the rearyard offset relief is denied, the Planning Commission shall state, in writing, their reasons for denial.

The definition of a “deck” in the Villages Zoning Code is: “a structure characterized by a flat horizontal surface or platform suspended above the grade of the land it covers and which may be supported by posts, beams, cantilevers or by other means. Decks more than six inches above ground at any point shall meet the minimum building setback and offset requirements”.

Recommendation:

Because this is a matter for review, discussion, feedback,..., no specific recommendation is provided at this time.

Glen at Pewaukee Lake Site



0 210.06 Feet

The information and depictions herein are for informational purposes and Waukesha County specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Waukesha County will not be responsible for any damages which result from third party use of the information and depictions herein, or for use which ignores this warning.

Notes:

Printed: 11/4/2021



Application is due 3 weeks prior to the Meeting Date.



**Village of Pewaukee – Planning Commission
Miscellaneous Approval Application Form – Return Completed Form along
with 11 copies of all materials to be reviewed.**

Address/Parcel No. of Property Involved: PWW 0893013001

Zoning of Property: Planned Development Residential Infill

Current Owner of Property: The Glen at Pewaukee Lake

Applicant – Name: John Wahlen

Address: N63W23849 Main Street, Sussex, WI 53089

Phone: (262) 932-4188

Fax: (262) 932-4188

Type of Request: Check All That Apply

Sign Plan Approval:

Final Plat Approval:

Certified Survey Map:

Other (Describe Below):

Prelim. Plat Approval:

Developer's Agreement:

Year Yard Setback Reduction Request on Select Lots

Signature of Property Owner as listed on this Application:

Signature of Property Owner as listed on this Application will not be processed without the Owner's Signature regardless of listed as the Applicant. This signature authorizes the Village of Pewaukee to process the Application as it pertains to my property and further authorizes the Village or its representatives to conduct reasonable and necessary inspections of my property for the purposes of evaluating this application.

Applicant (if different than Owner):

Glen at Pewaukee Lake Site





April 19, 2022

Scott Gosse | Village Administrator
Village of Pewaukee
235 Hickory Street
Pewaukee, WI 53072

Subject: Request to Reduce Rear Setback
The Glen at Pewaukee Lake – Select Lots

Dear Mr. Gosse:

Thank you for the recent opportunity to gather feedback from the Plan Commission. We listened to the comments and have adjusted our request accordingly.

Working through our home and lot offerings at The Glen at Pewaukee Lake we are discovering some challenges related to the rear setbacks and elevated decks. We request an exemption to the rear yard setback for decks on Lots 6-10, 38-41. On this select set of lots the total depths are rather shallow and thus the issue. The space behind these lots abut another lot we control or an outlot. At minimum we'd like to extend an additional 10-feet into the rear setback with a deck. The deck will not be enclosed but may have architectural details such as a pergola. All but one of these lots offer a full or partial basement exposure, so a typical patio which is allowed off the main floor isn't possible.

Enclosed is an example to highlight the challenge; on Lot 10 we laid out the Hawthorne which is an 1,888 square foot home with courtyard entry two car garage. The home fits within the setback requirements; however, we are unable to add a deck to rear of this home based on current setback requirements. As we talk with potential buyers, they are asking for these outdoor spaces.

Let us know what next steps can be taken to make this adjustment to meet the request of the marketplace.

Respectfully,

Joe Orendorf
Cornerstone Development
(262) 932-4188

Exhibit B - Lot 10 with Hawthorne

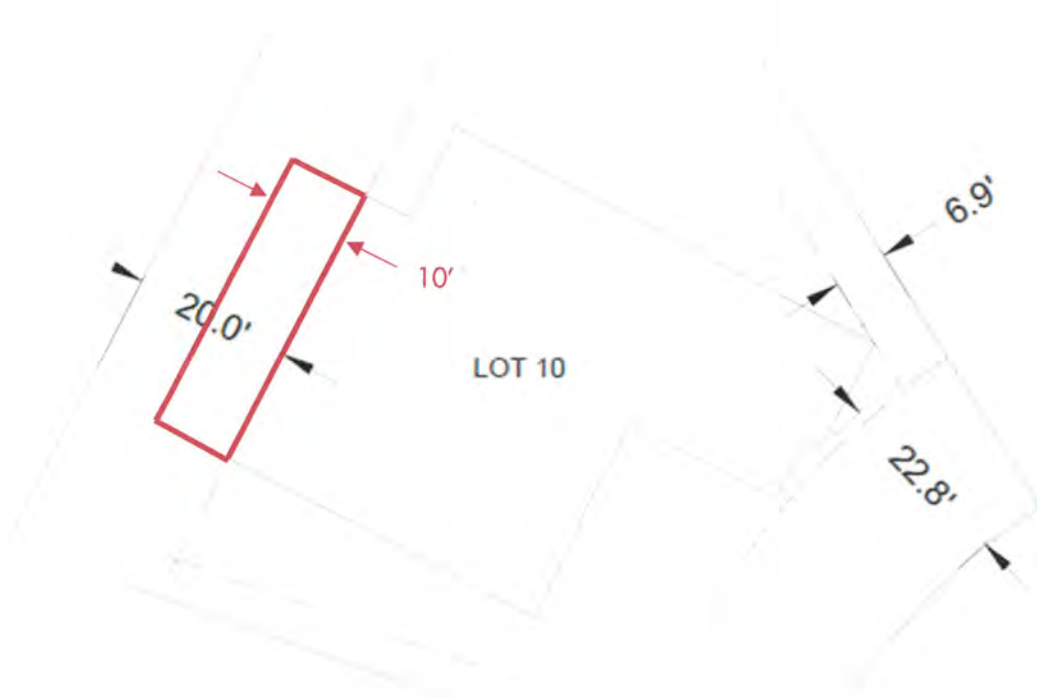


Hawthorne Floor Plan



Currently, no space for a deck off the rear of the home.

Exhibit C - Lot 10 Requested Setback



Requesting space for a deck
off the rear of the home.

STAFF REPORT

To: Village of Pewaukee Plan Commission

By: Mary Censky

Date Prepared: May 12, 2022

General Information:

Agenda Item: **6.d.**

Applicant:	Dollar Tree in c/o Bob Kraus of Bauer Sign
Status of Applicant:	Prospective tenant occupant
Requested Action:	Sign Code waiver
Current Zoning:	B-1 Community Business
Current Master Plan Classification:	Community Commercial
Surrounding Zoning/Land Use:	North: R-M Multi-Family Residential South: B-1 Community Business East: B-1 Community Business West: B-1 Community Business
Project Area:	~4.47 acres
Property Location:	609 Westfield Way

Discussion:

The applicant requests Planning Commission approval of a sign code waiver to place a 57.39 square foot tenant wall sign on the main entry/south facing façade of their tenant space in the building at 690 Westfield Way where 30 square feet maximum is set forth by Code.

Sec. 70.103 of the Villages Sign Code provides as follows:

Appeals. The planning commission may, in its judgment, waive or modify the provisions of this chapter where it would further the public interest and uphold the purpose of this chapter as put forth in section 70.100. Such waiver or modification may be based on, among other things, site-specific hardships such as topographic aberrations, traffic safety, accessibility and visual encumbrances.

Section Sec. 70.100 of the Villages Sign Code provides as follows:

Purpose. The purpose of this chapter shall be to:

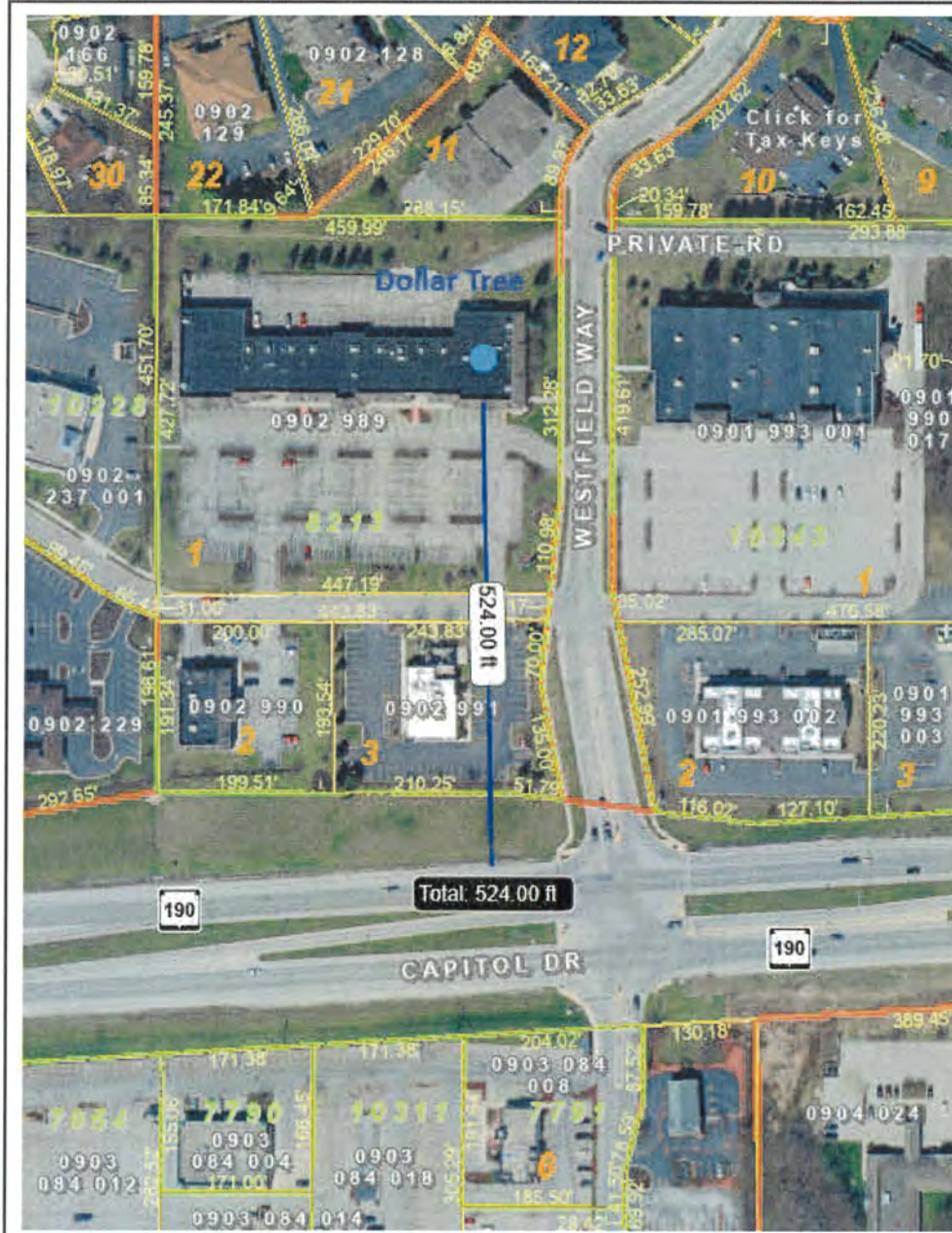
(1) Regulate the size, type, construction standards, maintenance and placement of signs situated within the boundaries of the Village of Pewaukee, Wisconsin.

- (2) Promote the public health, safety, welfare and comfort of the general public by:*
- a. Reducing distractions and obstructions from signs which would adversely effect traffic safety and alleviate hazards caused by signs projecting over or encroaching upon the public right-of-way;*
 - b. Discouraging excessive visual competition in signage and ensuring that signs aid orientation and adequately identify uses and activities to the public; and*
 - c. Preserving or enhancing the natural beauty and unique physical characteristics of the village as a community in which to live and work by requiring new and replacement signage which is:*
 - 1. Harmonious with the building, surrounding neighborhood aesthetics and other signs in the area;*
 - 2. Appropriate to the type of activity to which it pertains;*
 - 3. Expressive of the village's identity in a manner which will not diminish property values; and*
 - 4. Complementary to the village's architectural character and unobtrusive commercial developments.*

Recommendation:

If the Planning Commission supports the applicants request as to size of the “Dollar Tree” sign in light of the specific hardship presented by this sites substantial setback location from the principal public way (i.e. building is setback over 500 feet from Capitol Drive) for visibility, the fact that the proposed new sign appears to be consistent in scale to other existing signs already/previously in place on this building façade, and the fact that the scale of the specific section of the building wall where this sign is proposed to be attached is sufficient to handle to the proposed oversized sign, the Planner recommends the following conditions be considered for attachment thereto:

- 1) Applicant to secure all necessary permits, such as but not limited to Sign Permit, Electrical Permit,... prior to placement/installation at the site.



Legend

- Municipal Boundary
- Parcel Dimension
- Note_Text_2K
- Lots_2K**
 - Lot
 - Unit
 - General Common
 - Outlot
- SimultaneousCon**
 - Assessor Plat
 - CSM
 - Condominium
 - Subdivision
- Cartoline_2K**
 - EA-Easement_Line
 - PL-DA
 - PL-Extended_Tie
 - PL-Meander_Line
 - PL-Note
 - PL-Tie
 - PL-Tie_Line
 - <all other values>
- Railroad_2K**

0 191.21 Feet

Notes:

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Application is due 3 weeks prior to the Meeting Date.



**Village of Pewaukee – Planning Commission
Miscellaneous Approval Application Form – *Return Completed Form along
with 11 copies of all materials to be reviewed.***

Address/Parcel No. of Property Involved: 690 Westfield Way

Zoning of Property: B-1

Current Owner of Property: 690 Westfield Way, LLC

Applicant – Name: Dollar Tree / Bauer Sign & Lighting Co. Inc
Address: 2500 S 170th St New Berlin WI 53151
Phone: 262.784.0500
Fax: 262.784.6675

Type of Request: Check All That Apply

Sign Plan Approval:
Final Plat Approval:
Certified Survey Map:
Other (Describe Below):

Prelim. Plat Approval:
Developer's Agreement:

Signature of Property Owner as listed on this Application:

A handwritten signature in blue ink, appearing to be "Robert Kraus", is written over a horizontal line.

Application will not be processed without the Owner's Signature regardless of who is listed as the Applicant. This signature authorizes the Village of Pewaukee to process the Application as it pertains to my property and further authorizes the Village or its representatives to conduct reasonable and routine inspections of my property for the purposes of evaluating this Application.

Signature of Applicant (if different than Owner):

A handwritten signature in blue ink, "Robert Kraus", is written over a horizontal line.



PROFESSIONAL SERVICES REIMBURSEMENT NOTICE

Pursuant to the Village of Pewaukee Code of Ordinances, the Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village. Also, be advised that pursuant to the Village of Pewaukee Code of Ordinances, certain other fees, costs, and charges are the responsibility of the property owner or responsible party.

I, the undersigned, have been advised that, pursuant to the Village of Pewaukee Code of Ordinances, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred by the Village. In addition, I have been advised that pursuant to the Village of Pewaukee Code of Ordinances, certain other fees, costs, and charges are my responsibility.

The Village will place fees from unpaid invoices on the real estate tax bill of the property that corresponds to the incurred services.

RESPONSIBLE PARTY & MAILING ADDRESS

Bauer Sign & Lighting Co. Inc DOLLAR TREE / JONES SIGN
Bob Kraus Agent
Name of Company and/or Individual

2500 S 170th St New Berlin, WI 53151
Street City State Zip

Phone: 262.784.0500 Fax: 262.784.6675 E-Mail: bkraus@bauersignusa.com

Robert Kraus 4/21/22
Signature of Applicant & Date

[Signature] 4/22/2022
Signature of Property Owner & Date

Village Official Accepting Form & Date

SEND ALL PROFESSIONAL SERVICES INVOICES TO:
(Check One)

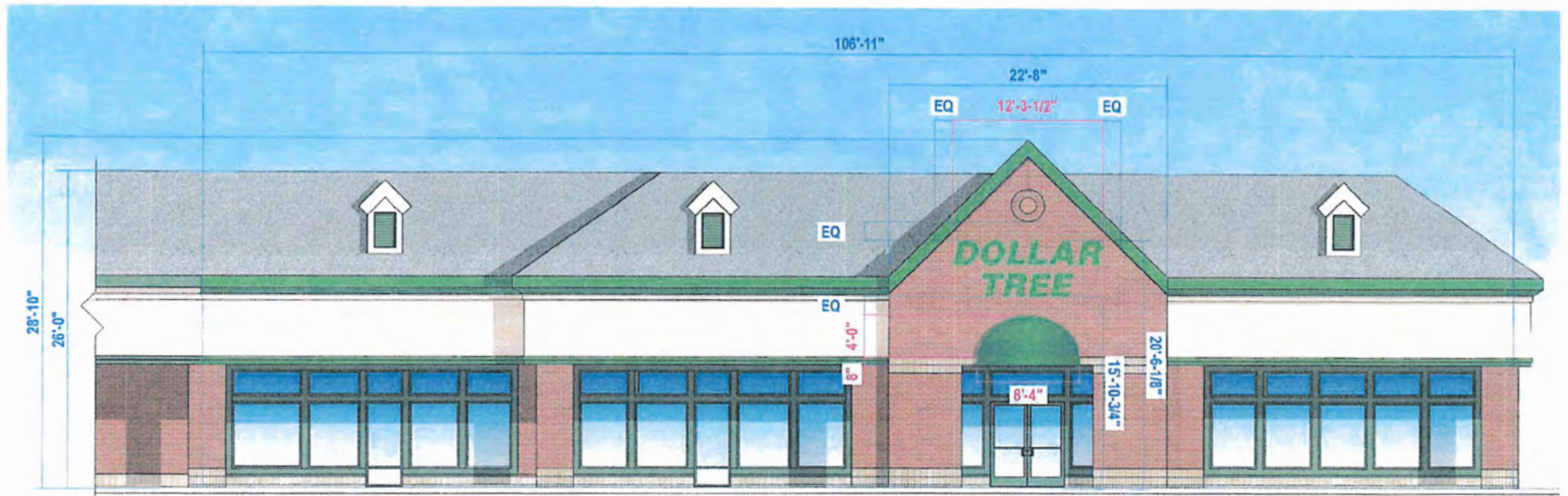
Property Owner

Applicant

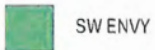
CL.1 24" FACE LIT CHANNEL LETTERS (DT1CL24-147-5LS) (QTY 1) - FRONT ELEVATION

SQUARE FOOTAGE: 39.83

ALLOWABLE SQUARE FOOTAGE: 40 SF or 75% OF THE LINEAR FOOTAGE



PROPOSED FRONT ELEVATION
SCALE: 1/8"=1'-0"



SW ENVY

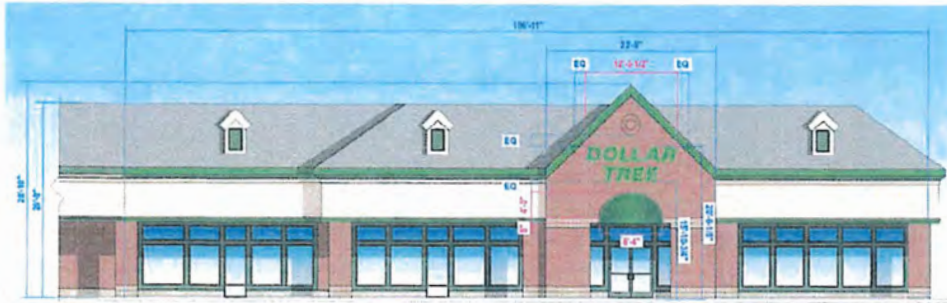
JONES SIGN Your Vision. Accomplished. WWW.JONESSIGN.COM	JOB # 268450-R1 02.02.2022 Designer: ZT Checker: MB J. Lavinsky	REV DATE BY DESCRIPTION 1 02.02.22 ZT UPON APPROVAL	CLIENT APPROVAL _____ DATE _____ LANDLORD APPROVAL _____ DATE _____	DOLLAR TREE	DOLLAR TREE 690 WESTFIELD WAY PEWAUKEE, WI 53072	SHEET NUMBER

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CL.1 24" FACE LIT CHANNEL LETTERS (DT1CL24-147-5LS) (QTY 1) - FRONT ELEVATION

SQUARE FOOTAGE: 39.83

ALLOWABLE SQUARE FOOTAGE: 40 SF or 75% OF THE LINEAR FOOTAGE



PROPOSED ELEVATION
Scale: NTS



NIGHT VIEW
Scale: NTS

SPECIFICATIONS

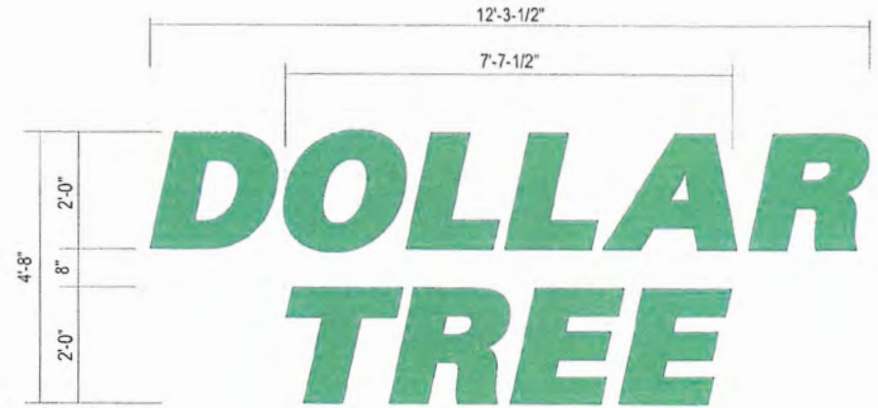
- LETTER FACES: CLEAR LEXAN W/ V-1 APPLIED 2ND SURFACE W/ WHITE DIFFUSER
- RETURNS / TRIM/CAP: DURANODIC BRONZE P-1
- ILLUMINATION: GREEN L.E.D. MODULES FOR LETTERS
- INSTALL FLUSH WITH WALL AS REQUIRED

VINYL (LETTERS)

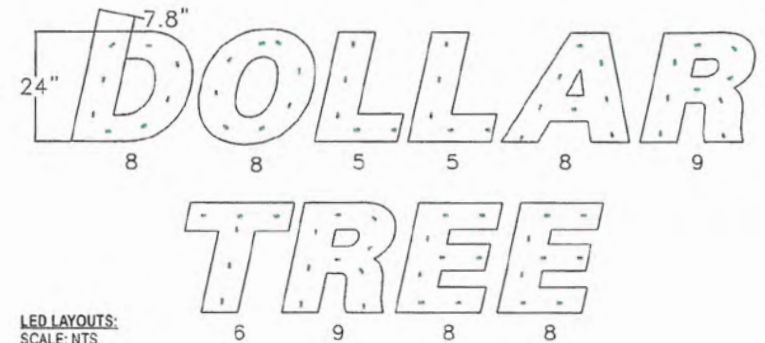
- V-1 3M #3939-156 VIVID GREEN
- V-2 3M #3935-73 OFF USER

MATERIALS/FINISHES

- P-1 BRONZE Returns and Trim Cap
- L-1 CLEAR LEXAN Letter Faces & Signs



FRONT VIEW:
SCALE: 1/2"=1'-0"



LED LAYOUTS:
SCALE: NTS

24" CHANNEL LETTER	
ESTIMATED PRODUCT B.O.M. PER SIGN:	
74	Each Prism Green Modules - 50'
PN:	701269-GRSJ1-MB
1	Each 60C1 (Damp/Dry locations) or Modular 60 (Wet location) 60W
	Power Supply 12VDC
1	Each 100' Roll of Jacketed Cable

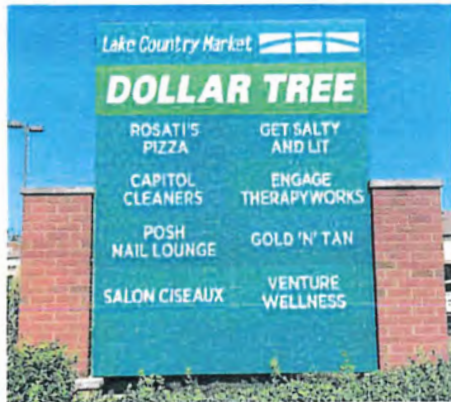
JONES SIGN Your Vision. Accomplished. WWW.JONESSIGN.COM	JOB # 268450-R1 DATE: 02.02.2022 BY: ZT MB J. Livinsky	REV DATE BY DESCRIPTION 1 02.02.22 ZT UPDATED Pylon	CLIENT APPROVAL _____ DATE _____ LANDLORD APPROVAL _____ DATE _____	DOLLAR TREE	DOLLAR TREE 690 WESTFIELD WAY PEWAUKEE, WI 53072	SHEET NUMBER

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MS.1 MONUMENT SIGN (QTY 1)
 SQUARE FOOTAGE: TBV



EXISTING ELEVATION
 SCALE: N.T.S.



PROPOSED ELEVATION
 SCALE: N.T.S.

SPECIFICATIONS

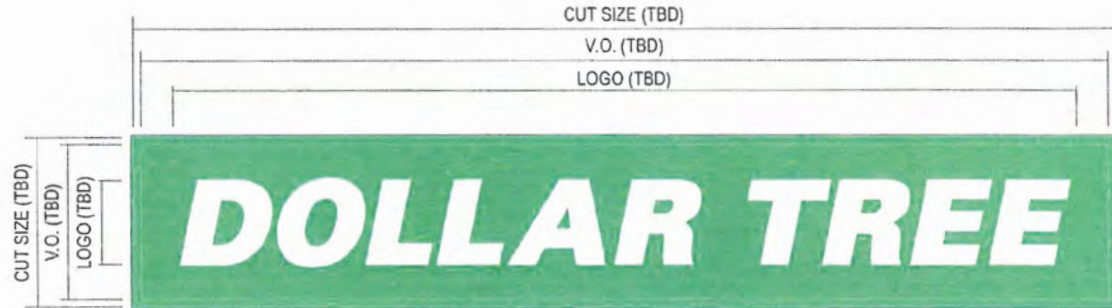
1. 187 WHITE LEXAN FACES - TBD
2. FIRST SURFACE APPLIED TRANSLUCENT VINYL GRAPHICS V-1, V-2

NOTES:

- EXISTING RETAINERS : TBD
- REMOVE AND SCRAP EXISTING FACES

COLORS/FINISHES

- V-1 3M 3530-156 (VVD GREEN)
- V-2 WHITE



FRONT VIEW
 SCALE : N.T.S.



NIGHT VIEW
 SCALE : N.T.S.

JONES SIGN Your Vision. Accomplished. WWW.JONESIGN.COM	JOB # 268450-R1 DATE: 02.02.2022 DRAWN BY: ZT CHECKED BY: MB DESIGNED BY: J. Lavinsky	REV DATE BY DESCRIPTION 1 02.02.22 ZT UPDATED PLYS	CLIENT APPROVAL _____ DATE _____ LANDLORD APPROVAL _____ DATE _____	DOLLAR TREE	DOLLAR TREE 690 WESTFIELD WAY PEWAUKEE, WI 53072	SHEET NUMBER

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