



PLAN COMMISSION AGENDA

November 12, 2020 – 7:00pm

Meeting Available on Zoom.us at the following meeting number:

<https://us02web.zoom.us/j/88152516332>

In lieu of participating via the Zoom website, the alternative telephone only dial-in is:

Dial in: 312-626-6799 881 5251 6332

"Due to the COVID-19 Pandemic and in recognition of the declaration of states of emergency by the President, the Governor and the Village President, this meeting will not be open to the public in an in-person capacity. Those wishing to observe may do so by downloading the ZOOM app to your personal computer, tablet or smart phone and utilizing the above information to join via either computer or telephone. If you wish to communicate in written format with the Commission you may send written comments to the Village Clerk at 235 Hickory St. Pewaukee, WI 53072 or you may email the Clerk at csmith@villageofpewaukee.com."

1. Call to Order and Roll Call
2. Public Hearings.
 - a. On the Conditional Use Grant Amendment request of property owner WCTI, in c/o Jeff Leverenz, Director of Facilities-Services, to construct a new campus classroom and training building (including an indoor shooting range for student training and active duty officers recertification shooting only) to be located at the northeast turn of the existing EVOC training track in the southwest area of the WCTC campus located at 800 Main Street. The property is Zoned IPS Institutional and Public Service District.
 - b. On the Conditional Use Grant Request of applicant is Beachside Boat & Bait (Beachside Marine) to remove and replace the existing boat, RV and boating related accessories sales, service and storage use of the building/site located at 1151 Hickory St. with a phased, new development, including 3 new buildings and reconfigured site usage dedicated to those same uses (see above). The property owner is MAM Properties LLC and the property is zoned B-5 Light Industrial District.
3. Citizen Comments – *This is an opportunity for citizens to share their opinions with Commission Members on any topic they choose. However, due to Wisconsin Open Meeting laws, the Commission is not able to answer questions or respond to your comments. All comments should be directed to the Commission. Comments are limited to 3 minutes per speaker. Speakers are asked to use the podium and state their name and address.*
4. Approval of the Minutes:
 - a. Regular Plan Commission Meeting – October 8, 2020
 - b. Special Plan Commission Meeting – October 13, 2020
5. Old Business.
 - a. Review, discussion and feedback to staff regarding portions of the Village of Pewaukee Comprehensive Plan update in progress – i.e. Chapter 7-Land Use. There may also be discussion regarding the relationship(s)/connectivity of the material in these chapters to the recently completed Village of Pewaukee Strategic Plan Update.
6. New Business
 - a. Review, discussion and preparation for possible action at a subsequent meeting on the Conditional Use Grant Amendment request of property owner WCTI, in c/o Jeff Leverenz, Director of Facilities-Services, to construct a new campus classroom and training building (including an indoor shooting range for student training and active duty officers recertification shooting only) to be located at the northeast turn of the existing EVOC training track in the southwest area of the WCTC campus located at 800 Main Street. The property is Zoned IPS Institutional and Public Service District. **NO ACTION WILL BE TAKEN AT THIS MEETING.**

- b. Review, discussion and possible action on the Sign Code Waiver request of applicant Engage Therapy Works, in c/o Robin Hicks, to place a 43.13 sq.ft. tenant identification wall sign at 690 Westfield Way-Suite J, where the Sign Code provides for 30 sq.ft. maximum. The property owner is Westfield Way, LLC. The property is zoned B-1 Community Business.
- c. Review, discussion and possible action on the Sign Code Waiver request of applicant The Chiropractors in c/o Chris Rebholz, , to place a 66.66 sq.ft. tenant identification wall sign at 690 Westfield Way-Suite E, where the Sign Code provides for 30 sq.ft. maximum. The property owner is Westfield Way, LLC. The property is zoned B-1 Community Business.
- d. Review, discussion and possible action on the Sign Code Waiver request of applicant Get Salty & Lit, in c/o Chris Rebholz, to place a 46.80 sq.ft. tenant identification wall sign at 690 Westfield Way-Suite F, where the Sign Code provides for 30 sq.ft. maximum. The property owner is Westfield Way, LLC. The property is zoned B-1 Community Business.
- e. Review, discussion and preparation for possible action at a subsequent meeting on the Conditional Use Grant Request of applicant is Beachside Boat & Bait (Beachside Marine) to remove and replace the existing boat, RV and boating related accessories sales, service and storage use of the building/site located at 1151 Hickory St. with a phased, new development, including 3 new buildings and reconfigured site usage dedicated to those same uses (see above). The property owner is MAM Properties LLC and the property is zoned B-5 Light Industrial District. **NO ACTION WILL BE TAKEN AT THIS MEETING.**
- f. Review, discussion and possible recommendation to the Village Board on the request of applicant Beachside Boat & Bait (Beachside Marine) to combine the two existing, separate lots located at 1151 Hickory St. and immediately north/adjacent thereto into a single lot. The property owner is MAM Properties LLC and the property is zoned B-5 Light Industrial District.
- g. Consultative review, discussion and general feedback to applicant (Beachside Boat & Bait (Beachside Marine)) and staff as to possible reuse of a portion of the property (site and building) located at 1045 Hickory Street for the uses 'boat and RV storage, sales and services; sales of boats, trailers and related accessories; detailing and servicing of boats; and pick-up and delivery of customers boats. The property owner is RTE Corporation. The property is zoned B-5 Light Industrial District.

7. Citizen Comments. – *This is an opportunity for citizens to share their opinions with Commission Members on any topic they choose. However, due to Wisconsin Open Meeting laws, the Commission is not able to answer questions or respond to your comments. All comments should be directed to the Commission. Comments are limited to 3 minutes per speaker. Speakers are asked to use the podium and state their name and address.*

8. Adjournment

Note: It is possible that members and/or possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; action will not be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in the notice. Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. To request such assistance, contact the Village Clerk at 262-691-5660.

Dated: November 6, 2020

**VILLAGE OF PEWAUKEE
PLAN COMMISSION MEETING MINUTES
October 8, 2020**

1. Call to Order and Roll Call

President Knutson called the meeting to order at approximately 7:02 p.m.

Roll Call was taken with the following Plan Commission members present: Comm. Cheryl Mantz, Comm. Eric Rogers, Comm. Joe Zompa, Comm. Jim Grabowski, Trustee Craig Roberts and President Jeff Knutson. Comm. Ryan Lange was excused.

Also Present: Mary Censky, Village Planner; Tim Barbeau, Village Consultant Engineer; Mark Blum, Village Attorney; Scott Gosse, Village Administrator; Jackie Schuh, Deputy Clerk-Treasurer.

2. Public Hearing

- a. **Conditional Use Grant Amendment request of Mark Van Dehy d/b/a Craft Beer Cellar to cordon-off an outdoor seating area in the parking lot adjacent to their tenant space and permit sales, service and consumption of alcohol therein in association with his permitted use Craft Beer Cellar located at 1230 George Towne Drive-Suite "E". The property is zoned B-1 Community Business. The property owner is Wauwatosa Savings Bank.**

No comments.

- b. **Conditional Use Grant Amendment request to modify the permitted starting time for in/out van traffic for the AMW Transport use located at 462 Hickory Street. The property is zoned B-5 Light Industrial District. The property owner is Babi LB Venture, LLC and the applicant is Matthew Quest.**

Matt Quest @ 462 Hickory St – Mr. Quest, as the property owner expressed his past willingness to work with both the Village and neighbors to address concerns. They have rectified traffic and speed, drainage and noise to the best they can. He is willing to continue to work with everyone going forward. Mr. Quest reminded all that the neighbors did purchase homes bordering a B-5 Business District.

- c. **Conditional Use Grant Amendment request to expand the outdoor storage area, garden center and customer ingress/egress yard gating area for Menards located at 1357 W. Capitol Drive. The property is zoned B-1 Community Business with a Planned Unit Development District Overlay and the property owners are Menard, Inc., Chestnut Limited Partnership, and Meadow Creek Limited Partnership. The applicant is Menard, Inc.**

John Zimmerman (Jilly's Car Wash) @ 1293 Capitol Dr – President Knutson summarized his phone call with Mr. Zimmerman as he was not able to attend tonight's meeting. Per Knutson, Mr. Zimmerman stated he was very happy that Menards is staying in our community and that they add to the standard of life in the Village and also increase traffic flow for his business. Mr. Zimmerman urges the Commission to allow Menards to move forward with their plans.

Katie Hess @ 659 Westfield Way - Ms. Hess stated she is not opposed to the expansion but she does not know what all of it means. She would like more information and inquired if there are plans to view. Attorney Blum responded to her to visit the Village Hall for details and continue to listen to the rest of the meeting as it is on the agenda for later and there will be more discussion on it. He reminded her that there will be no action on it at this meeting, and that she can submit concerns and comments after review to the Village Hall for distribution to the Commission.

Christine Grainer @ 659 Westfield Way – She is concerned about entrances being added on that will lead to their condos. There is too much traffic already and the noise is tremendous.

- d. **Conditional Use Grant request to add the use “Accessory retail sales of goods directly related to or produced in the conduct of the approved principal use on the premises” for Wraith Enterprises LLC d/b/a Wraith Precision in c/o David Prange as proprietor located at 434 Oakton Avenue. The property is zoned B-5 Light Industrial District. The property owner is Anna E. Heise Trust.**

No comments.

3. Citizen Comments

Sharon Vitek @ 427 Hickory St – Ms. Vitek stated she has lived at this home for 50 years and she takes offense to Mr. Quest’s attitude regarding those who have purchased homes near the B-5 Business District. She is upset that living trees have been taken down by Quest and that he makes promises and then does not follow through. She does not support the addition of two more buildings to his property.

4. Approval of Minutes

- a. **Regular Plan Commission Meeting – September 10, 2020**

Comm. Mantz moved, seconded by Comm. Zompa to approve the minutes of the September 10, 2020 Regular Plan Commission meeting as presented.

Motion carried by roll call vote 5-0-1 with Comm. Rogers abstaining.

Agenda Items 5b and 6a-i were discussed but not necessarily in order. Item 5a was postponed by consensus to the November Plan Commission meeting.

5. Old Business

- a. **Review, discussion and feedback to staff regarding portions of the Village of Pewaukee Comprehensive Plan update in progress – i.e. Chapter 7-Land Use. There may also be discussion regarding the relationship(s)/connectivity of the material in these chapters to the recently completed Village of Pewaukee Strategic Plan Update.**

This item was postponed by consensus to the November, 12, 2020 Plan Commission meeting.

- b. **Review, discussion and possible recommendation to the Village Board regarding creation of a proposed new Housing for the Elderly Overlay Zoning District.**

President Knutson reminded the Commission that he, Trustee Roberts and staff were tasked with creating language to be presented to the Commission. Items changed included 30 units per buildable acre being lowered to 20 while giving the Commission discretion in adjusting that number if criteria fits, some definitions that were put in place to clarify meaning and designation of a minimum lot size of 2 buildable acres.

Trustee Roberts moved, seconded by Comm. Rogers to recommend approval to the Village Board for the Housing for the Elderly Overlay Zoning District.

Motion carried by roll call vote 6-0.

6. New Business

- a. **Review, discussion and possible action on sign code waiver request in order to rebrand the Stop-n-Go store by building and canopy color/material changes which also includes replacing the several existing signs with new units requiring waiver. This property is owned by Andrew Bowman. The applicant on his behalf is La Crosse Sign Group in c/o Cindy Bluske. The property is located at 405 Ryan Street and it is zoned B-1 Community Business District.**

Per Planner Censky the applicant seeks approval to replace an existing freestanding sign with a sign that is slightly smaller. The size proposed is within guidelines of the code, but it is a changeable electronic messaging sign, which requires the Commission’s approval. In addition, the applicant seeks approval to replace the three existing logo signs (approximately 9 sq.ft. in area/each) with new logo signs that are approximately 18 sq.ft. The Village typically treats gas

canopy signs the same as principal building signs, allowing 1/street frontage up to 40 sq.ft. in area each. There is an existing wall sign (approximately 64 sq.ft. in area) on the gas station/store principal building that is proposed to be replaced with a smaller unit - ~18 sq.ft. in area.

Comm. Rogers moved, seconded by Comm. Grabowski to approve the sign code waiver to allow replacement of the existing signs at the site including an electronic messaging sign with the following recommendations of Planner Censky:

- 1) With permission for total of 4 wall signs where two would ordinarily be permitted under Code regulations, the owner/applicant is advised that possibility for a future second freestanding sign and/or additional wall signs on the gas canopy or principal store building is forgone;
- 2) The intensity of illumination of the electronic message sign shall at no time be so bright as to distract or interfere with the safety of motorists on the adjoining public streets;
- 3) The image in display on the electronic message sign shall not blink, scroll, flash, wave, rotate or change color or content more frequently than once per every 60 seconds;
- 4) Applicant to secure all necessary permits, such as but not limited to Sign Permit, Electrical Permit,... prior to placement/installation at the site.

Motion carried by roll call vote 6-0.

- b. **Review and discussion on Conditional Use Grant Amendment request of Mark Van Dehy d/b/a Craft Beer Cellar to cordon-off an outdoor seating area in the parking lot adjacent to their tenant space and permit sales, service and consumption of alcohol therein in association with his permitted use Craft Beer Cellar located at 1230 George Towne Drive-Suite "E". The property is zoned B-1 Community Business. The property owner is Wauwatosa Savings Bank. NO ACTION WILL BE TAKEN AT THIS MEETING.**

Per Planner Censky, the applicant is seeking a CUG amendment to hold a special 3rd anniversary celebration event on Friday October 16th, 2020 from noon – 11p.m. and to include a 50 ft. x 50 ft. roped off area outdoors in the parking lot north of the building for seating, sales and consumption of alcohol. The roping plans will include a limited and staffed entry/exit point to check id's, limit carryout, etc. They also propose a food truck vendor parked near the front of the tenant space to supplement the food service options they offer. Electronic audio will be used in the outdoor space to supply music. Trash receptacles will be added in the outdoor area. Minimal accessory lighting is proposed to in order supplement the existing building and parking lot lighting to the extent needed after dark. The restrooms facilities inside the tenant space will service the outdoor use as well. Takedown of all appurtenances related to the outdoor event will be complete by the end of the next day. In addition to this event, and in light of the required spacing needs due to the pandemic, the applicant would like the opportunity to conduct outdoor events of this same type (though not commemorating an anniversary), 1 time/month during the months March – October going forward. All other elements of the building exterior, the site and the other use occupancies will remain unchanged as a part of this request. Planner Censky presented a list of recommendations to the Commission, including recording of the CUG amendment before any of the events are to take place. Administrator Gosse requested that a change be made to that recommendation to reflect a signed and received CUG Amendment instead so as to allow the applicant to proceed with their first event. Discussion in favor of the event/events followed. Attorney Blum clarified that the CUG Amendment should still be recorded to which Gosse confirmed that it would still be recorded. Mark Van Dehy indicated that the correct property owner is Waterstone Bank as it was listed incorrectly on the agenda.

No action was taken at this meeting.

- c. **Review and discussion on Conditional Use Grant Amendment request to modify the permitted starting time for in/out van traffic for the AMW Transport use located at 462 Hickory Street. The property is zoned B-5 Light Industrial District. The property owner is Babi LB Venture, LLC and the applicant is Matthew Quest. NO ACTION WILL BE TAKEN AT THIS MEETING.**

Planner Censky explained that the current, approved hours for operation of vans entering/exiting this site per the Conditional Use Grant approved on February 13, 2020 are 8 a.m. through 8 p.m. daily. She verified that there have been violations in the past that have since been corrected. Per Censky, the applicant requests an amendment to this Conditional Use Permit in order to expand the van operating hours in/out of the site to 6 a.m. through 8 p.m. daily. Censky pointed out to the extent the applicant can demonstrate that this change/expansion in van operating hours will not exacerbate or might even, to some extent, mitigate the adverse impacts as to traffic congestion, public safety and/or noise which are reportedly already occurring upon the surrounding area and/or Village as a whole, then she would not raise any specific other objection to this request as presented. Discussion followed regarding the possible negative impact to the surrounding residential area should an earlier start time be allowed due to increased traffic, noise and disturbances at an even earlier hour than before. General consensus was that an earlier time, even with staggering of vehicles to alleviate traffic issues, would have a more negative impact than positive. Mr. Quest was asked to speak regarding the request to amend the hours of operation. He cited start times of other businesses in the B-5 Business District and requested to be treated just like every other business in the area. The earlier start times are an attempt to mitigate traffic issues, per Quest. He emphasized his willingness to work with the Village and the neighbors. Comm. Rogers would like to see them respect and follow the rules already in place before granting earlier start times. Comm. Grabowski inquired as to what granting a start time of 6am will do if they had already been operating at that time and there was still a traffic issue. The Commission in general did not respond favorably to expanding hours unless it would possibly include staggering of vehicles.

No action was taken at this meeting

- d. Review and discussion on Conditional Use Grant Amendment request to expand the outdoor storage area, garden center and customer ingress/egress yard gating area for Menards located at 1357 W. Capitol Drive. The property is zoned B-1 Community Business with a Planned Unit Development District Overlay and the property owners are Menard, Inc., Chestnut Limited Partnership, and Meadow Creek Limited Partnership. The applicant is Menard, Inc. NO ACTION WILL BE TAKEN AT THIS MEETING.**

Planner Mary Censky shared a depiction of the property as it relates to Menards. Per Censky, the applicant seeks approval to expand the garden center to the east while retaining the same wall-type enclosure as is currently in place around the east perimeter. The offset to the new east lot line where the expansion occurs is proposed to be 10 feet as is required by Code. The wall along the east perimeter continues in relocation eastward heading north to the proposed new north lot line. From there it turns west and continues all the way through until connecting with the east side of the proposed new warehouse building to be located immediately north of and connecting with the existing warehouse building. To the extent the back(north) side of the new warehouse building forms the outer view, it will be constructed of the same materials/colors,... as the visible back of the existing warehouse building. Some new landscaping is proposed as is an addition onto the west end of the existing yard entry gate to create a third pass-through. The two existing lanes will be entry for customer order pick-ups and to-store deliveries – the new lane will become the exit only lane. Building height, materials, colors,... will all be consistent with the existing yard entry gate structure. Offset to the west lot line will be ~3 feet where 10 feet is required by Code. A revised outdoor lighting plan is submitted in support of this project which makes use of Code compliant fixture types and offers a compliant dispersion plan. Fixture mounting height must not exceed 25 feet in height, or the height of the adjacent building, whichever is less. Engineer Tim Barbeau explained that there will be no new connections to the sanitary sewer and water although it will run just to the right of the new proposed rack system. Director of DPW Dan Naze is ok with the location as long as there is written agreement as to how they would access the sanitary line if needed, including removal of the rack system and excavation. Naze and Barbeau will determine if there are any improvements needed before it is covered over. There will not be much site grading on the east side but the grading on the north side will result in a 2:1 slope at the pond and the DNR requires a 3:1 slope. The DNR has agreed to the 2:1 based on the owner's acceptance to all maintenance of the slope and pond. Email correspondence between Menard Inc representative Tyler Edwards, property owner Jim Forester, Engineer Tim Barbeau and Administrator Scott Gosse details the agreement of Menard Inc, that upon approval of the redesign of the storm water detention pond including sloping and access of the pond, to be fully and completely responsible for all future maintenance, repair,

reconstruction and regulatory compliance of the storm water detention pond and systems related for all areas it now serves and for all undeveloped areas for which it is designed to serve. A copy of said email correspondence is on file at the Village Hall. Menards will do excavation to meet current rules and will raise the berm on the west and north end so as to meet 100-year storm requirements. Fire access will be further to the north and tighter up against the roadway than before. Barbeau stipulated that the plans must show how fire access will be made. Attorney Mark Blum clarified that Menards would be putting wood storage racks over an existing easement. Barbeau confirmed. Blum indicated that language must reflect that, should the Village need to excavate the area, the removal of the racks and restoration of the area would be at the expense of Menard Inc and not the Village of Pewaukee. Discussion followed in regards to how the conservancy will be affected, the confirmation that the rear look of Menards will essentially be unchanged to neighbors and lighting changes that are proposed to the interior of the walls.

No action was taken at this meeting.

- e. Review, discussion and possible recommendation to the Village Board on the rezoning request of Menard, Inc. to remove a portion of the property located immediately north of the Menards outdoor storage area at 1357 W. Capitol Dr. from current C-2 Conservancy District and rezone it to B-1 Community Business District w/ Planned Unit Development (PUD) District Overlay. The current property owner is Meadow Creek Limited Partnership.**

Planner Censky showed on-screen the area in question and relayed the applicant's request that the Planning Commission remove what is believed to be an artificial area of conservancy land located north of the Menard's north wall. The area is targeted for reconstruction as a part of a pending store expansion plan at the site. Per Censky, the applicant has engaged the DNR in this process of determining actual "artificial" status in which case the motivation to preserve through the C-2 Conservancy Zoning may become moot. Engineer Barbeau confirmed that the DNR deems this a man-made pond and that it is not subject to their regulation.

Comm. Mantz moved, seconded by Comm. Grabowski to recommend advancement to the Village Board for re-zoning from the current C-2 Conservancy District to B-1 Community Business w/ Planned Unit Development District Overlay with the following recommendation of Planner Censky:

- 1) Applicant to submit to the Village the DNR certification/approval to remove this area from an environmentally protected status prior to Village Board final approval as to the rezoning.**

Motion carried by roll call vote 6-0.

- f. Review and discussion on Conditional Use Grant request to add the use "Accessory retail sales of goods directly related to or produced in the conduct of the approved principal use on the premises" for Wraith Enterprises LLC d/b/a Wraith Precision in c/o David Prange as proprietor located at 434 Oakton Avenue. The property is zoned B-5 Light Industrial District. The property owner is Anna E. Heise Trust. NO ACTION WILL BE TAKEN AT THIS MEETING.**

Per Planner Censky, the applicant has an approved light industrial business occupancy and would like to carve out a small area within his existing tenant space for retail sales of equipment and supplies related to his light industrial use. The proposed hours of operation for this retail sales component of the overall use would be Sunday & Monday-closed, Tuesday – Friday 10:00 a.m.-6:00 p.m., and Saturday 10:00 a.m. – 2:00 p.m. The applicant advises that he does not expect this retail element to alter the total number of customer trips/day or the number of employees needed at this time. The applicant has access to more than ~5 of the parking spaces in the existing, gravel, shared lot that serves this multi-tenant building. These will be used for customer and staff parking. Per Censky, there are no changes proposed to the exterior of the building, site, exterior lighting or landscaping. Signage is not requested at this time. The Commission responded favorably to the request.

No action was taken at this meeting.

- g. Review, discussion and possible recommendation to the Village Board on the request of property owner/applicant AMTA Investments LLC, in c/o Tara and Dan Stetler, to modify the underlying**

Comprehensive Plan-Land Use Plan Map Element designation for this property from current Institutional to proposed Multi-Family Residential for the property located at 357 Morris Street.

Planner Censky reviewed the generally favorable feedback the Commission expressed at the August 20, 2020 meeting. The applicant now requests formal action of the Planning Commission as a recommendation to the Village Board to modify the Comprehensive Plan-Land Use Plan Map Element designation of this property from Institutional to Multi-Family Residential. Per Censky, the same would apply to the re-zoning in the next item. Comm. Zompa requested that Trustee Roberts relay to the Village Board the Commission's thoughtfulness to the sensitive nature of adding multi-family housing to the Village.

Comm. Zompa moved, seconded by Comm. Grabowski to recommend to the Village Board to modify the underlying Comprehensive Plan-Land Use Map Element designation for 357 Morris Street from current Institutional and Public Service to Multi-Family Residential.

Motion carried by roll call vote 6-0.

- h. Review, discussion and possible recommendation to the Village Board on the rezoning request of property owner/applicant AMTA Investments LLC, in c/o Tara and Dan Stetler, to rezone the property located at 357 Morris Street from current IPS-Institutional & Public Service District to R-M Multi-Family Residential District.

Comm. Rogers moved, seconded by Comm. Zompa to recommend to the Village Board to rezone the property at 357 Morris Street from current IPS-Institutional & Public Service District to R-M Multi-Family Residential District with the following recommendation of Planner Censky:

- 1) The process of amending the underlying Land Use Plan Map designation of this property must first be completed as will ensure that this rezoning will be consistent with the Village's Comprehensive Plan-Land Use Plan Map Element.

Motion carried by roll call vote 6-0.

- i. Discussion and possible action on scheduling a special meeting for action on the Conditional Use Grant application items which were the subject of public hearings, reviewed and discussed at tonight's meeting but not slated for immediate action due to the Zoom format of the meeting.

The Commission scheduled a special meeting for Tuesday, October 13, 2020 via Zoom to begin at 6pm by consensus.

7. Citizen Comments

Matt Quest @ 153 Park Ave – Mr. Quest explained to the Commission that the start time violations for AMW Transport were an oversight and that as soon as they were notified of the violation, they had temporarily moved the early wave of the operation off-site from 462 Hickory St so they would no longer be in violation.

8. Adjournment

Comm. Rogers moved, seconded by Comm. Grabowski to adjourn the Regular Plan Commission meeting at approximately 9:20 p.m.

Motion carried on roll call vote 6-0.

Respectfully submitted,

Jackie Schuh
Deputy Clerk-Treasurer

**VILLAGE OF PEWAUKEE
PLAN COMMISSION SPECIAL MEETING MINUTES
October 13, 2020**

1. Call to Order and Roll Call

President Knutson called the meeting to order at approximately 6:00 p.m.

Roll Call was taken with the following Plan Commission members present: Comm. Cheryl Mantz, Comm. Eric Rogers, Comm. Jim Grabowski, Comm. Ryan Lange, Trustee Craig Roberts and President Jeff Knutson. Comm. Joe Zompa was excused.

Also Present: Mary Censky, Village Planner; Tim Barbeau, Village Consultant Engineer; Matt Gralinski, Village Attorney; Scott Gosse, Village Administrator; Casandra Smith, Village Clerk.

Items below were presented out of order.

2. Old Business

- a. Review and possible action on Conditional Use Grant Amendment request of Mark Van Dehyd/b/a Craft Beer Cellar to cordon-off an outdoor seating area in the parking lot adjacent to their tenant space and permit sales, service and consumption of alcohol therein in association with his permitted use Craft Beer Cellar located at 1230 George Towne Drive-Suite "E". The property is zoned B-1 Community Business. The property owner is Waterstone Bank.

Comm. Grabowski moved, seconded by Comm. Mantz to approve the outdoor seating area for Craft Beer Cellars at 1230 George Towne Drive Suite E as presented with recommendations:

- 1) Receipt of signed Conditional Use Grant Amendment before the start of this newly approved outdoor use - seating, sales and consumption of alcohol in a roped off area of the parking lot north of the building and including up to 1 food service truck on October 16th, 2020 and continuing up to 1 time/month thereafter during the months of March – October annually;
- 2) All tables, chairs, tents,... and other related appurtenances placed outdoors for this event must be sufficiently stable and secure as not to present a public safety hazard in the event of bad weather;
- 3) The outdoor seating area and/or food truck shall not conflict in any way with the required ADA parking requirements and/or handicapped accessibility to this building and any state or federal level requirements to provide/maintain handicapped accessibility to the temporary outdoor seating area shall also be fully complied with;
- 4) Applicant shall secure the necessary licensure for alcohol sales, service and consumption in this limited outdoor area of the premises prior to start of the event and shall operate in full compliance at all times with the more restrictive of that licensure and/or any applicable State/Federal laws;
- 5) Food truck operator must possess all required permits and licensure as may apply to that service/business;
- 6) Days/Hours of operation shall be limited to October 16th, 2020 from noon to 11 p.m. and up to 1 time per month annually thereafter during the months March – October on the same terms and conditions as to the use, site plan,...;
- 7) Any substantiated adverse material impacts upon the surrounding area or the community as a whole arising out of the conduct of this use (including for instance but not necessarily limited to noise, traffic/parking, litter, loitering, ...) shall be the responsibility of the applicant to correct timely upon request of the Village or this use approval may be subject to modification and/or termination at the Village's discretion in accordance with Section 40.154(e) of the Land Development Code;

- 8) Temporary outdoor lighting and/or electronic audio systems sound level, shall not create a nuisance upon surrounding properties;
- 9) Any proposed signage attendant to this use shall first be reviewed/approved by Village staff, and related permit(s), if/as necessary issued, prior to the installation thereof.

Motion carried by roll call vote 6-0.

- b. Review and possible action on Conditional Use Grant Amendment request to modify the permitted starting time for in/out van traffic for the AMW Transport use located at 462 Hickory Street. The property is zoned B-5 Light Industrial District. The property owner is Babi LB Venture, LLC and the applicant is Matthew Quest.

Planner Censky stated that the applicant is proposing three waves, the first leaving at 6:30 a.m., the second at 7:00 a.m., and the third at noon. The applicant has stated that the employees cannot start earlier than 6:30 a.m. due to the opening of the Sussex pick up location. Censky referenced the correspondence received from the applicant which was displayed on the screen. Comm. Grabowski applauded Mr. Quest and AMW for going door to door and addressing the issue head on. Comm. Lange stated this is about being a good neighbor and he see no problem as long as they are considerate. Comm. Rogers asked that this be a temporary trial which would be reviewed at a later date. Comm. Mantz stated she spoke to Administrator Gosse regarding the cease and desist letter sent. The applicant didn't stop immediately when they received the letter and she asked that the neighbors contact the Village if they do not comply with the new terms. Trustee Roberts stated he is okay with the three waves and asked that it be put on the January agenda. Grabowski stated if there is a big issue it could come before the Commission earlier but he believes February would be more appropriate.

Comm. Grabowski moved, seconded by Comm. Lange to approve the Conditional Use Grant Amendment regarding starting time for AMW Transport located at 462 Hickory Street as stated in the applicant's submittal with the start time to begin at 6:00 a.m. and 25-30 vans leaving in three waves starting at 6:30 and 7:00 a.m. and 12:00 p.m. along with the following recommendations:

- 1) Recording of the Conditional Use Grant Amendment prior to the start of revised van operating hours;
- 2) A provision be added to the Conditional Use Permit adding/itemizing 'traffic/parking' to the list of material adverse impacts that must be corrected timely upon notice from the Village and that failure to correct any such problem in a timely manner may result in action to initiate partial or complete revocation or modification of this grant to the extent permitted in accordance with Section 40.154(e) of the Land Development Code.
- 3) This use will be put on the Planning Commission agenda in February, 2021 for review as to compliance with the specific terms of the Conditional Use Grant.

Motion carried by roll call vote 6-0.

- c. Review and possible action on Conditional Use Grant Amendment request to expand the outdoor storage area, garden center and customer ingress/egress yard gating area for Menards located at 1357 W. Capitol Drive. The property is zoned B-1 Community Business with a Planned Unit Development District Overlay and the property owners are Menard, Inc., Chestnut Limited Partnership, and Meadow Creek Limited Partnership. The applicant is Menard, Inc.

Engineer Barbeau stated that he is working with the applicant, Administrator Gosse and Attorney Blum on the sanitary storm sewer easement.

Comm. Grabowski moved, seconded by Comm. Rogers to approve as presented with Planner recommendations as below and staff approval on the sanitary sewer easement.

- 1) Completion of the rezoning from C-2 to B-1 for any part of the C-2 area proposed to be incorporated into the development prior to recording of the Conditional Use Grant;

- 2) Recording of the Conditional Use Grant prior to the start of site work or construction activity attendant to this project;
- 3) Village approval of a Certified Survey Map establishing the revised/new boundaries of the Menard's property as required to accommodate these plans prior to recording the Conditional Use Grant;
- 4) Fixture mounting height must not exceed 25 feet in height, or the height of the adjacent building, whichever is less;
- 5) The five trees proposed to be removed along the south half of the existing east wall be carried forward into the new plan with alternative tree selection and specific placement to be reviewed and approved by Village Staff prior to Conditional Use Grant recording;
- 6) Any substantiated, material, adverse impacts arising with respect to such things as, (but not necessarily limited to) noise, odor, smoke, light, vibration, litter, loitering, glare, health, parking/traffic, public safety, and similar... arising as result of this use/operation shall be the responsibility of the property owner and/or business operator to correct timely upon notice from the Village and failure to correct any such problem in a timely manner may result in action to initiate partial or complete revocation or modification of this grant to the extent permitted in accordance with Section 40.154(e) of the Land Development Code.
- 7) Applicant to secure all necessary building, electrical,...and other construction related permits prior to the start of any grading and/or construction/installation activity attendant to this use.

Motion carried by roll call vote 6-0.

- d. Review and possible action on Conditional Use Grant request to add the use "Accessory retail sales of goods directly related to or produced in the conduct of the approved principal use on the premises" for Wraith Enterprises LLC d/b/a Wraith Precision in c/o David Prange as proprietor located at 434 Oakton Avenue. The property is zoned B-5 Light Industrial District. The property owner is Anna E. Heise Trust.

Comm. Grabowski moved, seconded by Comm. Lange to approve the accessory retail sales of goods directly related to or produced in the conduct of the approved principle use on the premises of 434 Oakton Ave with the following recommendations:

- 1) Applicant to secure all necessary building permits prior to the start of any structural modifications, construction or remodeling activity attendant to this retail use;
- 2) Hours of operation shall be as stated above;
- 3) Any substantiated, material, adverse impacts arising with respect to such things as, (but not necessarily limited to) noise, odor, smoke, light, vibration, litter, loitering, traffic/parking, glare, health, public safety, and similar... as result of this use/operation shall be the responsibility of the property owner and/or business operator to correct timely upon notice from the Village and failure to correct any such problem in a timely manner may result in action to initiate partial or complete revocation or modification of this grant to the extent permitted in accordance with Section 40.154(e) of the Land Development Code.

Motion carried by roll call vote 6-0.

3. New Business

- a. Review, discussion and possible recommendation to the Village Board on the request of Menard, Inc. to reconfigure the lot line(s) between three adjoining parcels located at 1357 Capitol Drive, 1405 Capitol Drive and Tax Key PWV 0901-990-018. The property is Zoned B-1/PUD Overlay and C-2 Conservancy. The property owners are Menard, Inc., Chestnut Limited Partnership and Meadow Creek Limited Partnership.

Engineer Barbeau stated the applicant is looking to expand the current Certified Survey Map to the north and the east. This is just an adjustment of current lot lines. Barbeau stated he received the new survey today and some technical items are being addressed.

Comm. Mantz moved, seconded by Comm. Lange to forward the Certified Survey Map as presented to the Village Board with Planner and Engineer recommendations as presented:

- 1) Applicant to submit to the Village the DNR certification/approval to remove this area from an environmentally protected status prior to Village Board final approval as to the rezoning.
- 2) The applicant addresses all technical comments enumerated in Tim Barbeau's letter to Menards dated September 28, 2020 attached as an official part of the minutes.
- 3) Confirmation that the pond configuration, grading and southerly side slope is acceptable to Meadow Creek Limited Partnership, owners of the land on which improvements will be made.
- 4) Language to be drafted indicating Menard Inc as the sole entity charged with all maintenance and repairs of the pond as indicated in the email attached as an official part of the minutes.
- 5) Preparation and approval of a revised sanitary sewer and water main easement that is acceptable to Village Director of Public Works.

Motion carried by roll call vote 6-0.

4. Citizen Comments

Wale Edoud with AMW Transport – Mr. Edoud thanked the Plan Commission for making this approval and he hopes to make the neighbors happy too.

5. Adjournment

Comm. Rogers moved, seconded by Comm. Mantz to adjourn the Special Plan Commission meeting at approximately 6:30 p.m.

Motion carried on roll call vote 6-0.

Respectfully submitted,

Casandra Smith
Village Clerk

STAFF REPORT

To: Village of Pewaukee Plan Commission

By: Mary Censky

Date Prepared: November 12, 2020

General Information:

Agenda Item: **5.a.**

Applicant:

N/A

Status of Applicant:

Village initiated item

Requested Action:

Review and discussion regarding portions of the Village of Pewaukee Comprehensive Plan update in progress – i/e Chapter 7-Land Use. There may also be discussion regarding the relationship(s)/connectivity of this chapter to the recently completed Village of Pewaukee Strategic Plan Update.

Discussion:

Specific study areas intended for detailed discussion include (*ref materials distributed previously*):

- North side of Capitol Dr. from Meadowcreek Dr to Hwy. 164 and North along Hwy 164;
- Ryan St.-Quinlan Dr. to Hwy 16; and
- Farmland on both sides of Sussex St. at Ole Dairy Rd.

among others possibly.

STAFF REPORT

To: Village of Pewaukee Plan Commission

By: Mary Censky

Date Prepared: November 12, 2020

General Information:

Agenda Item: **6.a.**

Applicant:

Jeff Leverenz, Director Facilities-Services,
on behalf of owner/applicant WCTI

Requested Action:

Conditional Use Grant Amendment approval to construct a new campus classroom and training building (including an indoor shooting range for student training and active duty officer's recertification shooting only).

Existing Zoning:

IPS Institutional and Public Service

Surrounding Zoning/Land Use:

North: Pewaukee School District Campus
South: City of Pewaukee – vacant wetland/environmental corridor
East: WCTC campus and S.T.H. 16
West: City of Pewaukee – single family residential

Master Plan Classification:

Institutional

Location:

800 Main Street

Discussion:

Consistent with their broader concept site plan offered at the time the EVOC training facilities were upgraded at the campus back in 2016, the applicant is now following through with construction of the V-Building. The proposed building is 12,975 sq.ft. in area and includes both classrooms and an indoor shooting range that will be used for student training and active duty officer's recertification shooting only.

Architecturally, with principal materials including asphalt shingles and Hardipanel cement board siding, the building is consistent with nearby buildings on the campus.

The building will be served by an existing paved/lit/landscaped parking lot at the site. An acceptable, albeit general, landscaping has been offered for the site. Final plant selections will be made closer to the time of planting to reflect available stock,...

No new lighting, signage, dumpster enclosure,... is proposed as a part of this plan.

Recommendation:

If the Planning Commission is inclined toward granting approval of this new building, the Planner recommends the following conditions be considered for attachment thereto:

- 1) Village Engineer review and approval of all grading, drainage, stormwater management and erosion control and utilities plans prior to the start of any construction and/or earthwork at the site;
- 2) Any substantiated adverse material impacts upon the surrounding area or the community as a whole arising out of the conduct of this building/use (including for instance but not necessarily limited to noise, traffic/parking, litter, loitering, ...) shall be the responsibility of the applicant to correct timely upon request of the Village or this use approval may be subject to modification and/or termination at the Village's discretion in accordance with Section 40.154(e) of the Land Development Code;
- 3) If there are to be any lighting changes or additions, dumpsters placed, ... at this site attendant to this project, the detailed plans for same must first be reviewed and approved by Village staff.

Village of Pewaukee Plan Commission Engineer's Report for November 12, 2020

WCTC V Building

Report

The proposed new building will be located north of the existing baseball field in an area that is open space and a stormwater basin for the adjoining parking lot. The building will be set west of the parking lot and the stormwater infiltration basin will be located southwest of the new building.

Access

Access to this site will be via internal existing roads. No anticipated changes to the access to this site.

Sanitary Sewer and Water

The sanitary sewer system for WCTC is a private system. There is no indication of where the new sanitary lateral will be extended from. I have requested that the sewer lateral be shown on a site plan. Public water is located west of the existing stormwater basin. Grading for the improvements will get close to the water main, so we are asking that the contractor "pothole" the water main to determine the exact location and depth and to make any plan modifications to assure that the water main has adequate ground cover and will not be damaged. No service lateral is shown on the plan, so we will request that it be shown.

Site Grading

Other than the stormwater basin, the proposed building site slopes from the north to the south. The existing parking lot drainage flows to the northwest and southwest corners of the lot. The plans show the construction of a ditch/swale on the north side of the building which captures flow from part of the parking lot and lands north of the proposed building and directs it towards the southwest into a proposed stormwater infiltration basin. Water draining to the southwest corner of the parking lot will be directed to the infiltration basin through a swale along the south side of the building and storm pipes. They indicate that a fence will be placed through the ditch/swale northwest of the proposed building. The fence has the potential to block water and collect debris that will adversely affect the drainage. Consideration should be made to install a pipe to allow the water to flow through freely if the fence has to be in place. The proposed grading will not adversely affect other parts of the campus. An erosion control plan was included in the submitted package and is acceptable and should be followed.

Stormwater Management

The stormwater basin and swales will be constructed to provide infiltration. We did not receive a soils analysis to confirm that infiltration is possible, but based on the SCS soils maps, it appears that the existing soils may provide for some infiltration. Any overflow from the pond will be directed to the southwest to a swale along the east side of the EVOC pad and will eventually flow to CTH SS.

There are a number of technical items that need to be addressed in the stormwater management plan prior to my final approval to assure that it meets the Village code.

Recommendation

I recommend approval of the proposed development subject to staff satisfaction of the following items:

- Depiction of the sanitary sewer and water main laterals on the construction plans
- Potholing the existing water main to determine depth and address any concerns about water main depth or damage prior to construction.
- Resolution of stormwater management plan comments that were provided to the design engineer.
- Address the installation of a fence through the stormwater swale northwest of the building.

Tim Barbeau, Village Consulting Engineer
November 3, 2020



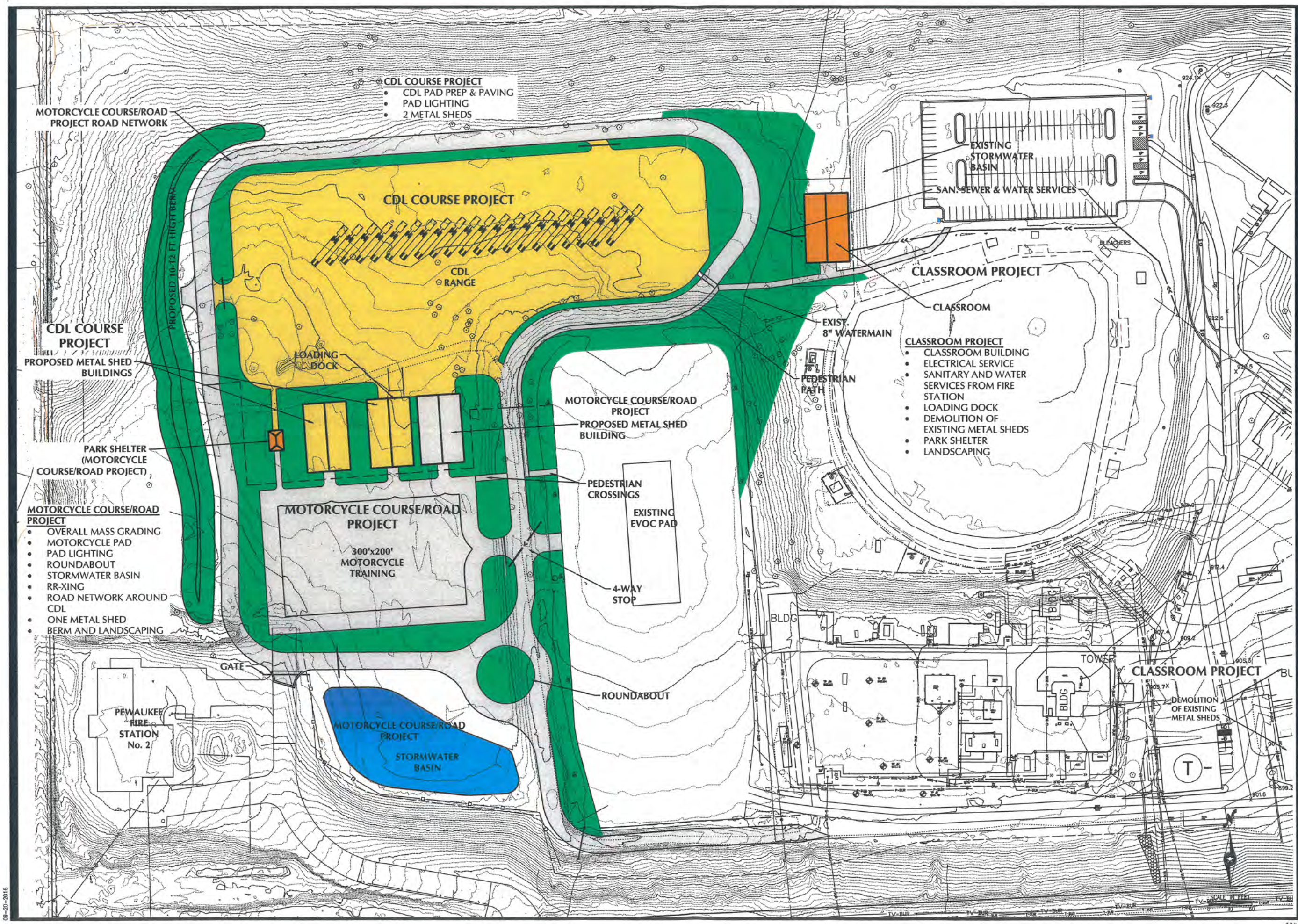
ENGINEERS • ARCHITECTS
 PLANNERS • SCIENTISTS
 501 MAPLE AVENUE
 DELAFIELD, WISCONSIN 53018
 262-646-6855

WWW.SEHINC.COM
GREEN TIER
 Advantage Builders Advantage Environment

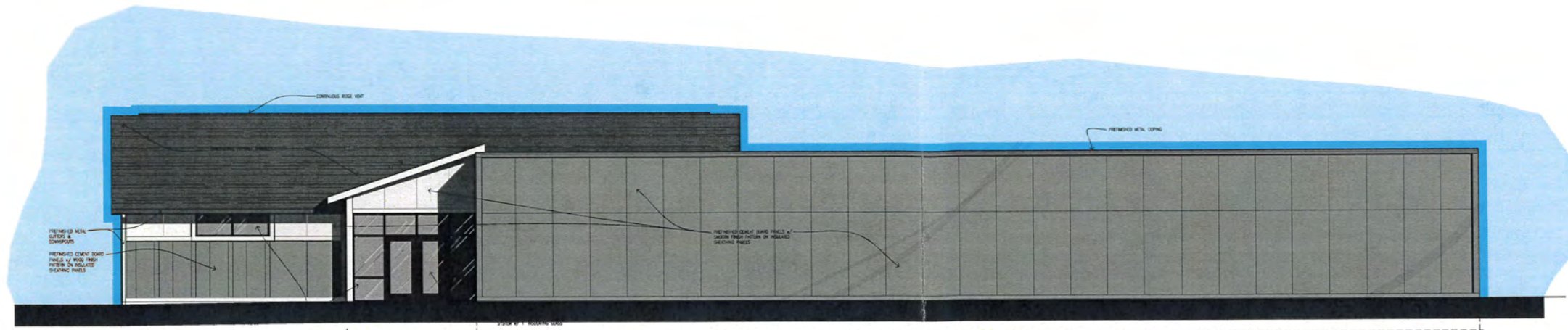
WAUKESHA COUNTY TECHNICAL COLLEGE
 PROPOSED EVOC TRACK
 PEWAUKEE, WISCONSIN
 PROPOSED SITE PLAN

PROJECT NUMBER	134402
DATE	02/10/2016
DRAWN BY	PAL
CHECKED BY	M. MICKELSON
REVISION HISTORY	
	03-04-2016
	05-27-2016
	07-21-2016
	09-20-2016

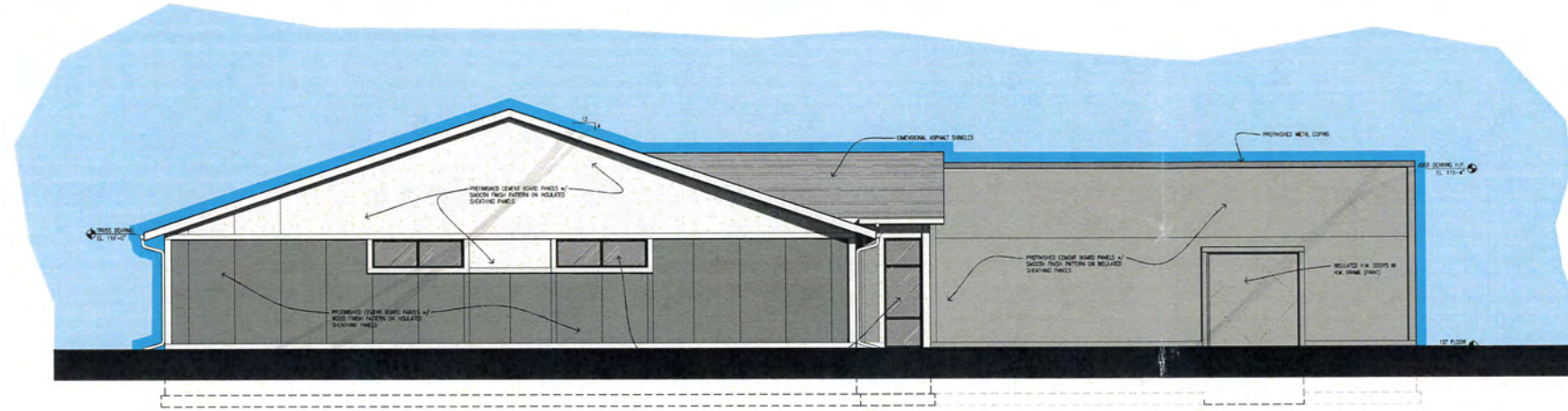
SHEET NUMBER
1
 OF 1 SHEETS



09-20-2016



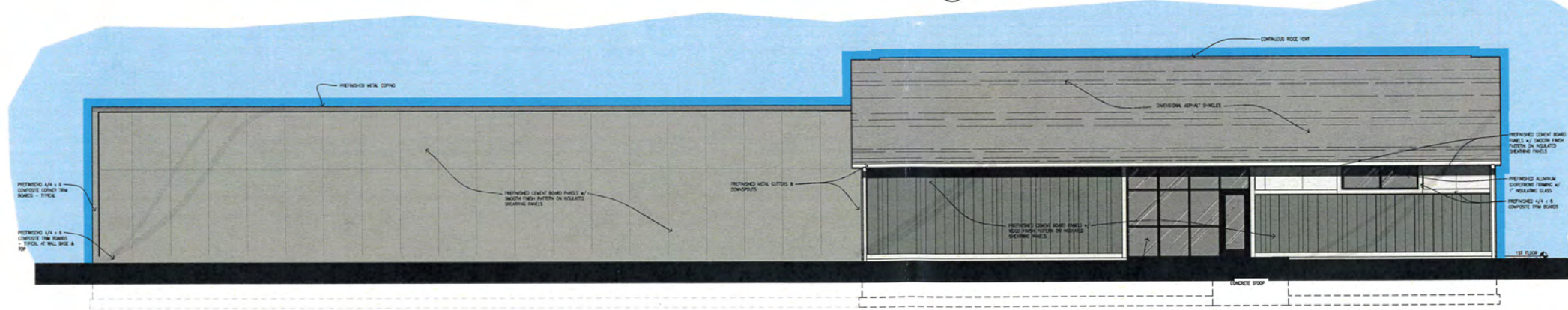
1 East Elevation
1/8" = 1'-0"



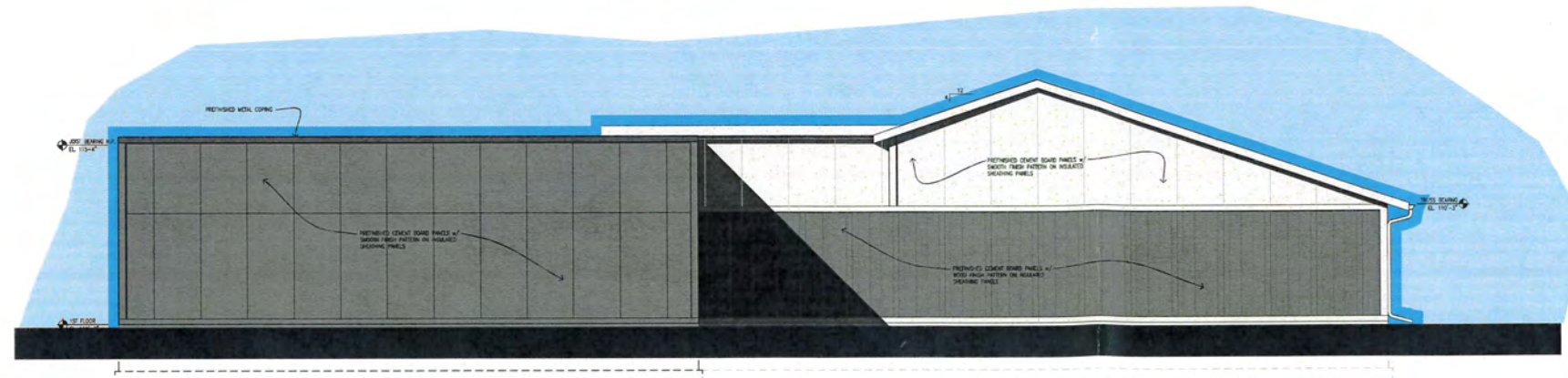
2 South Elevation
1/8" = 1'-0"



EXISTING STORAGE BUILDINGS



3 West Elevation
1/8" = 1'-0"



4 North Elevation
1/8" = 1'-0"

MATERIAL KEY

	HARDIE SOFFIT 'CEDARMILL' CEMENT BOARD HARDIETRIM 4'x4' 'RUSTIC' CEMENT BOARD COLOR: 'GRAY SCREEN' SHERWIN WILLIAMS SW 7071 (MATCH TO EVOC TRACK BUILDINGS)
	HARDIEPANEL VERTICAL SIDING 'SIERRA S' CEMENT BOARD COLOR: 'NIGHT OWL GRAY' SHERWIN WILLIAMS SW 7061 (MATCH TO EVOC TRACK BUILDINGS)
	ALUMINUM STOREFRONT FRAMING COLOR: ANODIZED DARK BRONZE
	DIMENSIONAL SHINGLES OWEN'S CORNING 'DRIFTWOOD' (MATCH TO EVOC TRACK BUILDINGS)

Consultant:

Project:
 Waukesha County Technical College

2021 BID SET #2
BUILDING NEW CONSTRUCTION

Location:
800 Main Street
Pewaukee, WI 53072

Key Plan:

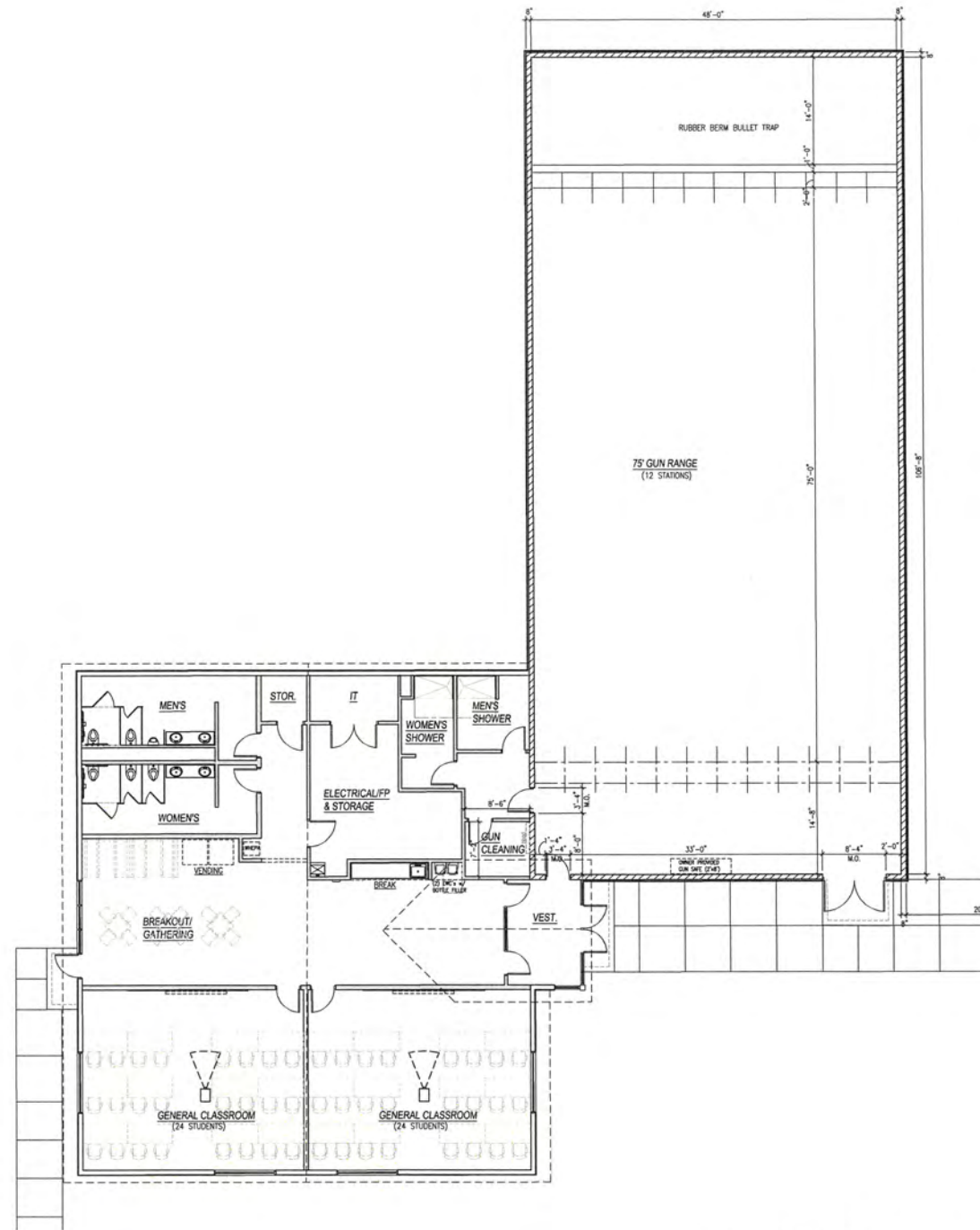
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Exterior Elevations

Scale:
Varies

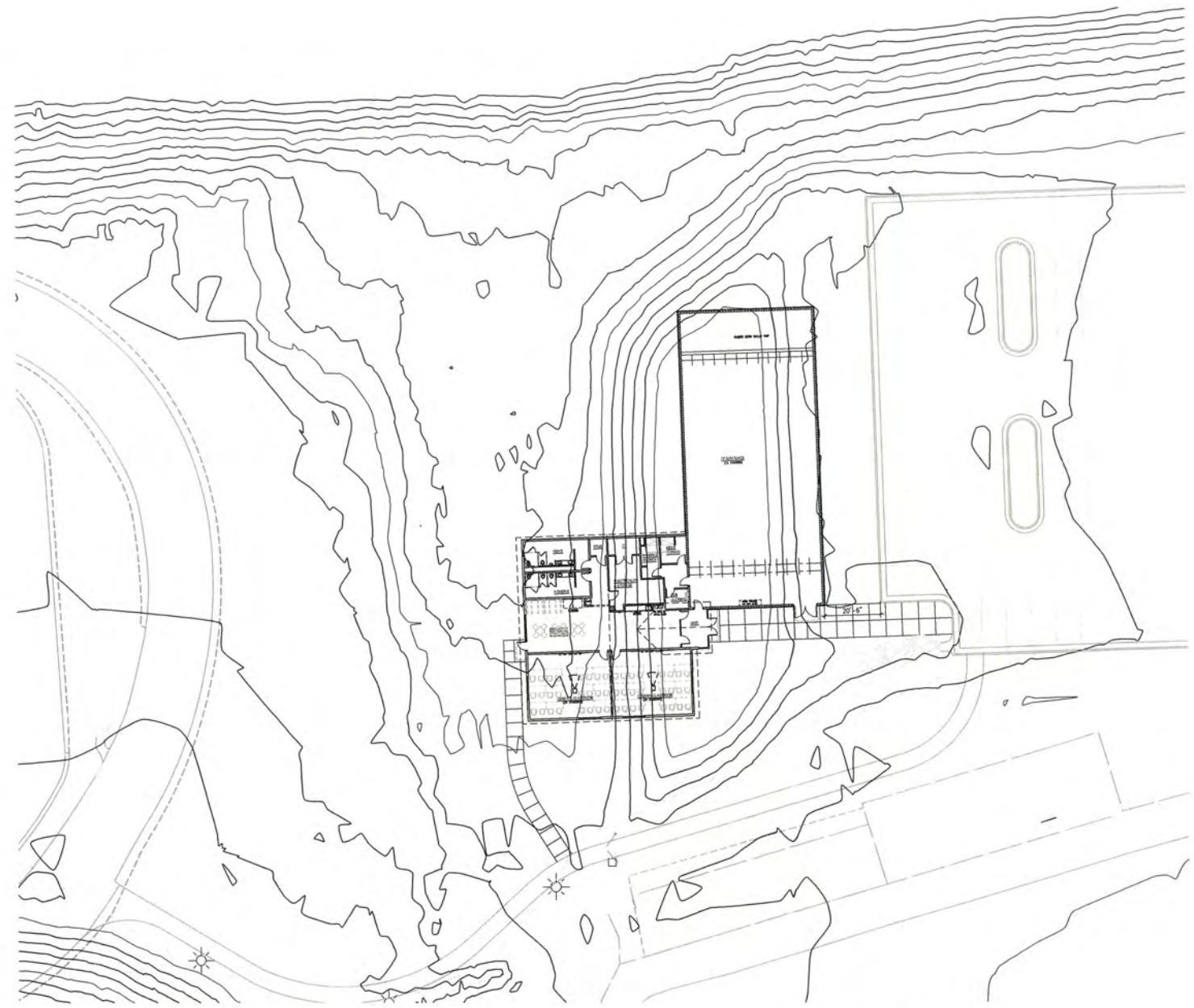
No.	Date	Description

Date:
October 15, 2020
Project No.: 200047.00 WCTC Bid #: 2021-03
Sheet No.:

[V]A4.0

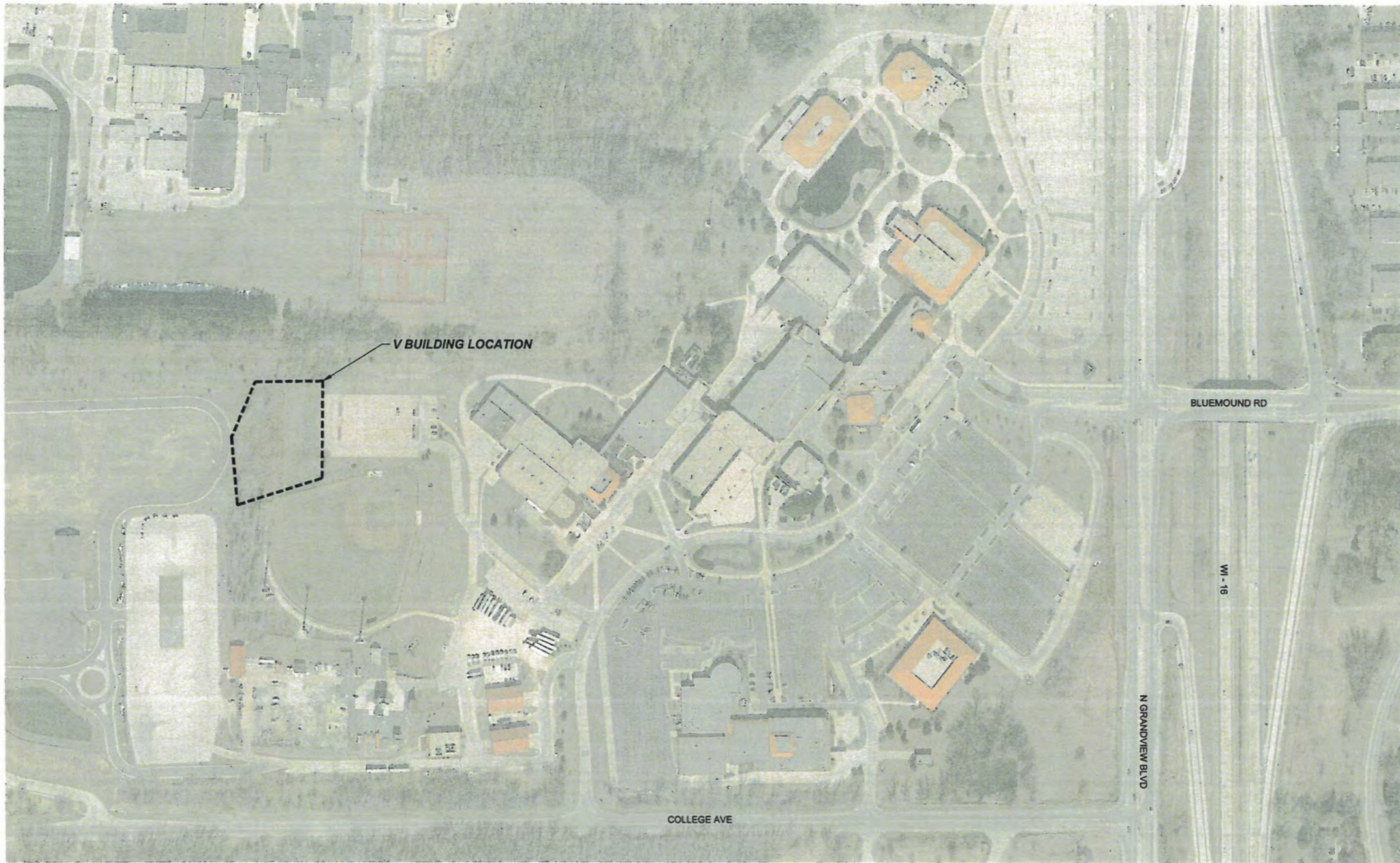


Conceptual Floor Plan
 1/8" = 1'-0" 12,975 SF



Conceptual V-Building Site Plan
 1" = 20'-0"





LEGEND:

UTILITY	GRADING	SITE
EXISTING:	EXISTING:	EXISTING:
--- WATERMAIN	--- MAJOR CONTOUR	◇ EXISTING PARKING COUNT
--- BURIED ELECTRIC	--- MINOR CONTOUR	◇ EXISTING SIGN
--- OVERHEAD WIRE	--- EXIST SPOT ELEVATION	◇ EXISTING ADA PARKING SPACE
--- GAS LINE	---	◇ EXISTING ADA PARKING SPACE
--- SANITARY SEWER	---	◇ PARKING COUNT
--- STORM SEWER	---	◇ ADA PARKING SPACE
--- UTILITY POLE	PROPOSED:	◇ SIGN
--- LIGHT POLE	--- MAJOR CONTOUR	◇ TRUNCATED DOMES
--- SANITARY MANHOLE	--- MINOR CONTOUR	◇ PAVEMENT MARKING DIRECTIONAL ARROWS
--- FIRE HYDRANT	--- SPOT ELEVATION	
--- WATER VALVE	--- FINISHED GRADE, TOP OF PAVEMENT, FLANGE OF CURB	
--- STORM SEWER STRUCTURE	--- DOOR	
PROPOSED:	--- GROUND GRADE AT BUILDING	
--- WATERMAIN	--- SPOT ELEVATION	
--- ELECTRICAL LINE	--- (FC - TOP OF CURB, EP - EDGE OF PAVEMENT)	
--- GAS LINE	--- RETAINING WALL SPOT ELEVATION	
--- SANITARY SEWER	--- (TW - TOP OF WALL, BW - GROUND GRADE AT BOTTOM)	
--- STORM SEWER	--- 12" PES	
--- WATER VALVE	--- DRAINAGE FLOW DIRECTION	
--- STORM SEWER STRUCTURE	--- EMERGENCY OVERFLOW ROUTE	
--- FLARED END SECTION		

GENERAL NOTES AND SPECIFICATIONS:

- THE EXISTING SITE INFORMATION ON THIS PLAN WAS TAKEN FROM A SITE SURVEY PROVIDED BY CAPTOL SURVEY ENTERPRISES. THE ENGINEER MAKES NO WARRANTY OR REPRESENTATION WITH REFERENCE TO THE ACCURACY AND COMPLETENESS OF THE EXISTING CONDITIONS INDICATED OR NOT INDICATED ON THE ENGINEERING PLANS PROVIDED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING SITE CONDITIONS INCLUDING UNDERGROUND UTILITIES, UNDERGROUND UTILITY ELEVATIONS, BUILDING RETRACKS AND EXISTING BUILDING LOCATIONS. THE CONTRACTOR SHALL INFORM THE OWNER AND ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WITH WORK. QUESTIONS REGARDING THE EXISTING SURVEY SHALL BE DIRECTED TO THE PARTIES LISTED ABOVE.
- BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, CONTRACTOR SHALL EXCAVATE EACH EXISTING UTILITY TO BE CONNECTED TO VERIFYING ELEVATION LOCATION AND SIZE. SHOULD THE EXISTING UTILITY NOT BE AS INDICATED ON THE PLAN, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR RE-EVALUATION.
- ALL UTILITY CONSTRUCTION SHALL ADHERE TO THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (2020), AS WELL AS, THE MUNICIPAL CONSTRUCTION STANDARDS AND THE DEPT. OF SAFETY AND PROFESSIONAL SERVICES SEC. 302-387.
- ALL PERMITS MUST BE RECEIVED FROM THE MUNICIPALITY AND WDNR (IF REQUIRED) PRIOR TO THE START OF CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL APPLICABLE PERMITS ARE RECEIVED PRIOR TO STARTING CONSTRUCTION.
- NOTIFY THE PUBLIC WORKS INSPECTION DEPT. AT LEAST 48 HOURS BEFORE STARTING CONSTRUCTION.
- BACKFILL REQUIREMENTS AND ROADWAYS/SEWALK RESTORATION SHALL ADHERE TO LOCAL STANDARDS (GRANULAR BACKFILL UNDER OR WITHIN 2' OF CURBS, SIDEWALK, OR PAVEMENT. SPOIL MAY BE USED ELSEWHERE. SLURRY BACKFILL WILL BE REQUIRED IN PUBLIC ROADWAYS.)
- ALL BUILDING UTILITIES SHALL BE VERIFIED WITH THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
- ALL PROPOSED WATERMAIN SHALL BE PVC SDR 18, CLASS 150, AWWA C900 WITH ELASTOMERIC JOINTS.
- PROPOSED SANITARY SEWER PIPE SHALL BE PVC, ASTM D-3034, SDR 35 WITH RUBBER GASKETED JOINTS CONFORMING TO ASTM D-3212.
- PROPOSED STORM SEWER SHALL BE PVC, ASTM D-3034, SDR 35 WITH RUBBER ELASTOMERIC JOINTS CONFORMING TO ASTM D-3212 (UNLESS OTHERWISE NOTED).
- A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NONMETALLIC UTILITIES MUST BE PROVIDED. PROVIDE TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORD WITH THE PROVISIONS SECTIONS 182.07(15)(2) OF THE STATE STATUTES.
- UTILITY TRENCHES SHALL BE MECHANICALLY COMPACTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
- ALL MANHOLES, CATCH BASINS, INLETS, VALVES BOXES, ETC WITHIN THE PROJECT AREA SHALL BE RESET AND ADJUSTED TO MATCH FINISH GRADE.
- ALL EXCAVATED OR STRIPPED MATERIALS NOT BEING REPLACED IN UTILITY TRENCHES OR BEING USED FOR FILL SHALL BE REMOVED FROM THE SITE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
- SEE ARCHITECTURAL PLANS FOR EXACT BUILDING & FOUNDATION DETAILS AND ORIENTATION.
- ALL ON-SITE CONCRETE CURBS AND GUTTER TO BE 18" WIDE VERTICAL FACE, UNLESS OTHERWISE NOTED, REVERSE OR REGULAR STYLE CURBS DENOTED ON PLANS.
- ALL CURB ELEVATIONS ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. SEE CURB DETAIL FOR TOP OF CURB ELEVATIONS.
- ALL CURB RISES ARE MEASURED TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL MATCH PROPOSED CONCRETE CURBS AND GUTTER, SIDEWALK AND PAVEMENT TO EXISTING IN ELEVATION AND ALIGNMENT.
- REMOVAL OF CURB AND GUTTER, SIDEWALK AND PAVEMENT SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE WISCONSIN D.O.T.
- ALL CONCRETE FOR CURBS AND GUTTER, ROADWAY AND SIDEWALKS MUST CONFORM TO THE STANDARD SPECIFICATIONS FOR READY MIXED CONCRETE. MINIMUM 28 DAY COMPRESSIVE STRENGTH TEST MUST EQUAL 4000 PSI.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL PROPERTY CORNERS.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING UTILITIES OR SITE IMPROVEMENTS. CONTRACTOR SHALL DOCUMENT ALL EXISTING DAMAGE PRIOR TO START OF CONSTRUCTION AND NOTIFY CONSTRUCTION MANAGER OF ANY PRICINGS.
- PROJECT SAFETY ON-SITE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING SOIL CONDITIONS. CONSTRUCTION MANAGER MAY HAVE SOILS REPORT FOR MORE INFO.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH A SET OF MARKED UP PLANS (AS-BUILTS) SHOWING ANY CHANGES DURING CONSTRUCTION.

CIVIL SHEET INDEX:

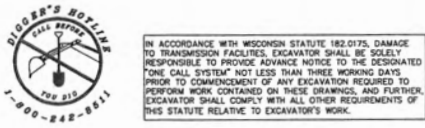
C1.10	SITE LOCATION AND GENERAL NOTES
C1.11	SITE AND DEMO PLAN
C1.20	GRADING PLAN
C1.30	EROSION CONTROL PLAN
C1.40	EXISTING SURVEY
C8.00	CONSTRUCTION DETAILS

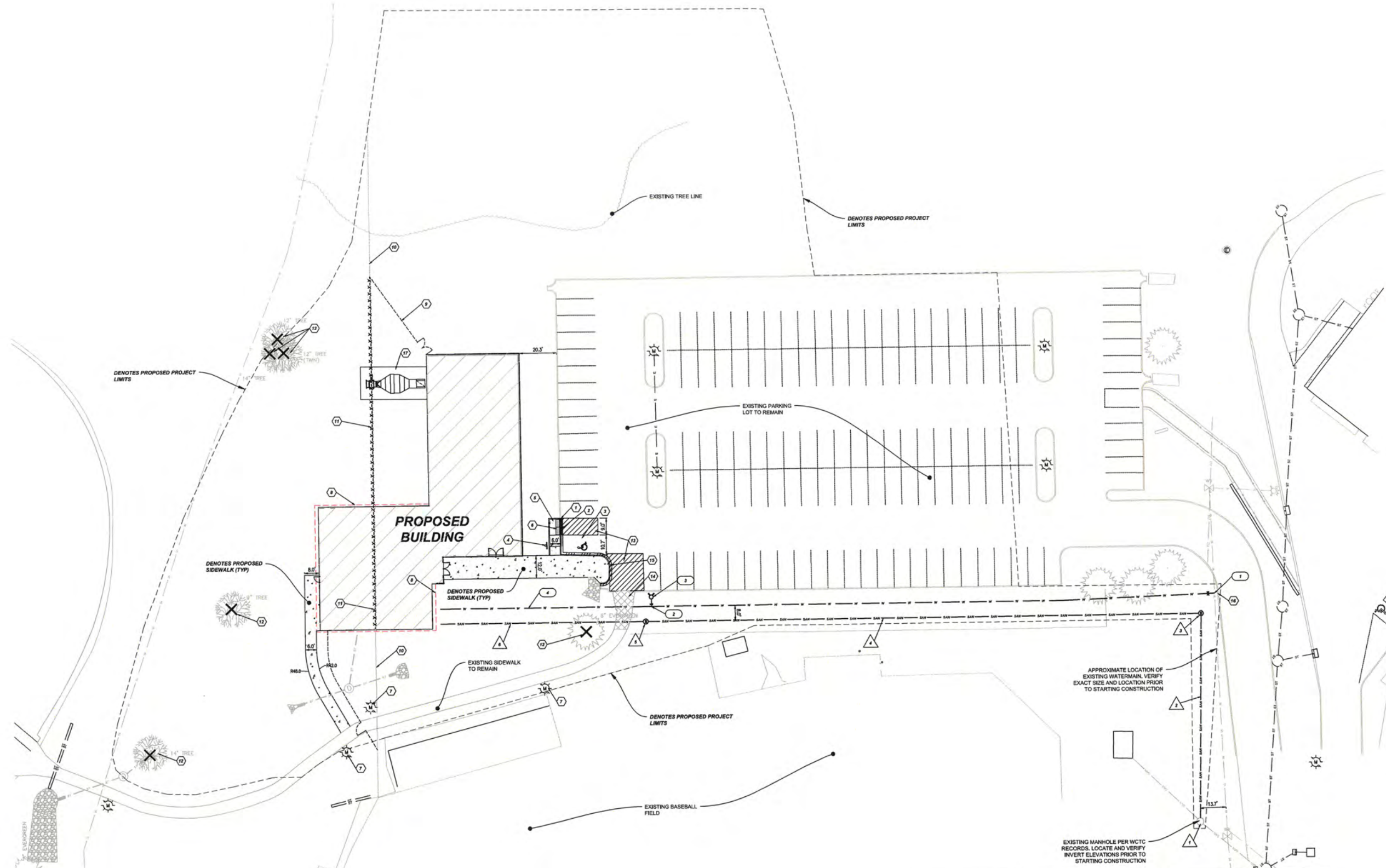
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SITE LOCATION AND GENERAL NOTES

Scale:
SCALE: 1" = 120'

Date:
October 15, 2020
Project No.: 200047.00
WCTC Bid #: 2021-03

Sheet No.:
[M] C1.10





SITE CALCULATION TABLE

TOTAL SITE AREA	3.286 AC
TOTAL DISTURBED AREA	1.270 AC
EXISTING IMPERVIOUS AREA	0.934 AC
PROPOSED IMPERVIOUS AREA	1.286 AC
PROPOSED GREENSPACE	1.990 AC

SITE CALCULATION TABLE FOR PROJECT LIMITS SHOWN

- NOTES**
- MATCH INTO EXISTING CURB AND GUTTER
 - REMOVE EXISTING CURB AND GUTTER AS NEEDED FOR PROPOSED RAMP
 - DENOTES PROPOSED ADA PARKING
 - DENOTES PROPOSED HANDICAP PARKING SIGN
 - DENOTES PROPOSED HANDICAP RAMP - TYPE 3
 - DENOTES PROPOSED TRUNCATED DOMES
 - EXISTING LIGHT POLE (TO REMAIN)
 - DENOTES PROPOSED ROOF OUTLINE (SEE ARCHITECTURAL PLANS)
 - DENOTES PROPOSED FENCE (SEE LANDSCAPE PLANS)
 - EXISTING FENCE TO REMAIN
 - REMOVE AND REPLACE EXISTING FENCE AS NEEDED, (SEE LANDSCAPE PLANS)
 - EXISTING TREE TO BE REMOVED, CONTRACTOR TO COORDINATE WITH OWNER PRIOR TO REMOVAL
 - REMOVE EXISTING STRIPPING AND RE-STRIPES AS SHOWN TO INSTALL PROPOSED UTILITIES, MATCH EXISTING PAVEMENT SECTIONS.
 - REMOVE AND REPLACE EXISTING CURB WITH MOUNTABLE CURB
 - REMOVE AND REPLACE CURB AS REQUIRED TO INSTALL WATERMAIN
 - DENOTES PROPOSED MECHANICAL EQUIPMENT PAD, SEE MECHANICAL PLANS FOR DETAIL.

- UTILITY TAGS**
- SANITARY**
- EXISTING SANITARY MANHOLE RM = 917.00; EXISTING 6" SE & NW LE. = 910.00 PROP. 6" PVC N.LE. = 911.50
 - PROPOSED 114 L.F. 6" PVC SANITARY SEWER @ 5-1.00%
 - PROPOSED SANITARY MANHOLE RM = 925.10 6" PVC S = 919.48 6" PVC W = 919.58
 - PROPOSED 295 L.F. 6" PVC SANITARY SEWER @ 5-1.00%
 - PROPOSED SANITARY MANHOLE RM = 925.10 6" PVC E = 922.53 6" PVC W = 922.63
 - PROPOSED 109 L.F. 6" PVC SANITARY SEWER @ 5-1.00%, INVERT AT BUILDING = 921.72. SEE PLUMBING PLANS FOR CONTINUATION INTO BUILDING.

- UTILITY TAGS**
- WATER**
- CONNECT TO EXISTING WATERMAIN PER VILLAGE REQUIREMENTS, GATE VALVE AND 302 L.F. 6" PVC WATERMAIN
 - PROPOSED 6" x 6" HYDRANT TEE AND AUX VALVE (W/ BOX), 4 L.F. 6" PVC HYDRANT LEAD
 - PROPOSED HYDRANT, BURY ELEV. = 929.37
 - PROPOSED 114 L.F. 6" PVC WATERMAIN, SEE PLUMBING PLANS FOR CONTINUATION INTO BUILDING.

HATCH LEGEND

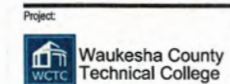
	PROPOSED CONCRETE SIDEWALK
	PROPOSED DEPRESSED CURB
	PROPOSED TAPER CURB
	PROPOSED MOUNTABLE CURB

DEMOLITION LEGEND

	DENOTES ITEM TO BE ABANDONED OR REMOVED
	DENOTES TREE TO BE REMOVED OR RELOCATED (AS NOTED)



IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THESE DRAWINGS, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.



2021 BID SET #2
V BUILDING NEW
CONSTRUCTION

Location:
800 Main Street
Pewaukee, WI 53072

Key Plan:

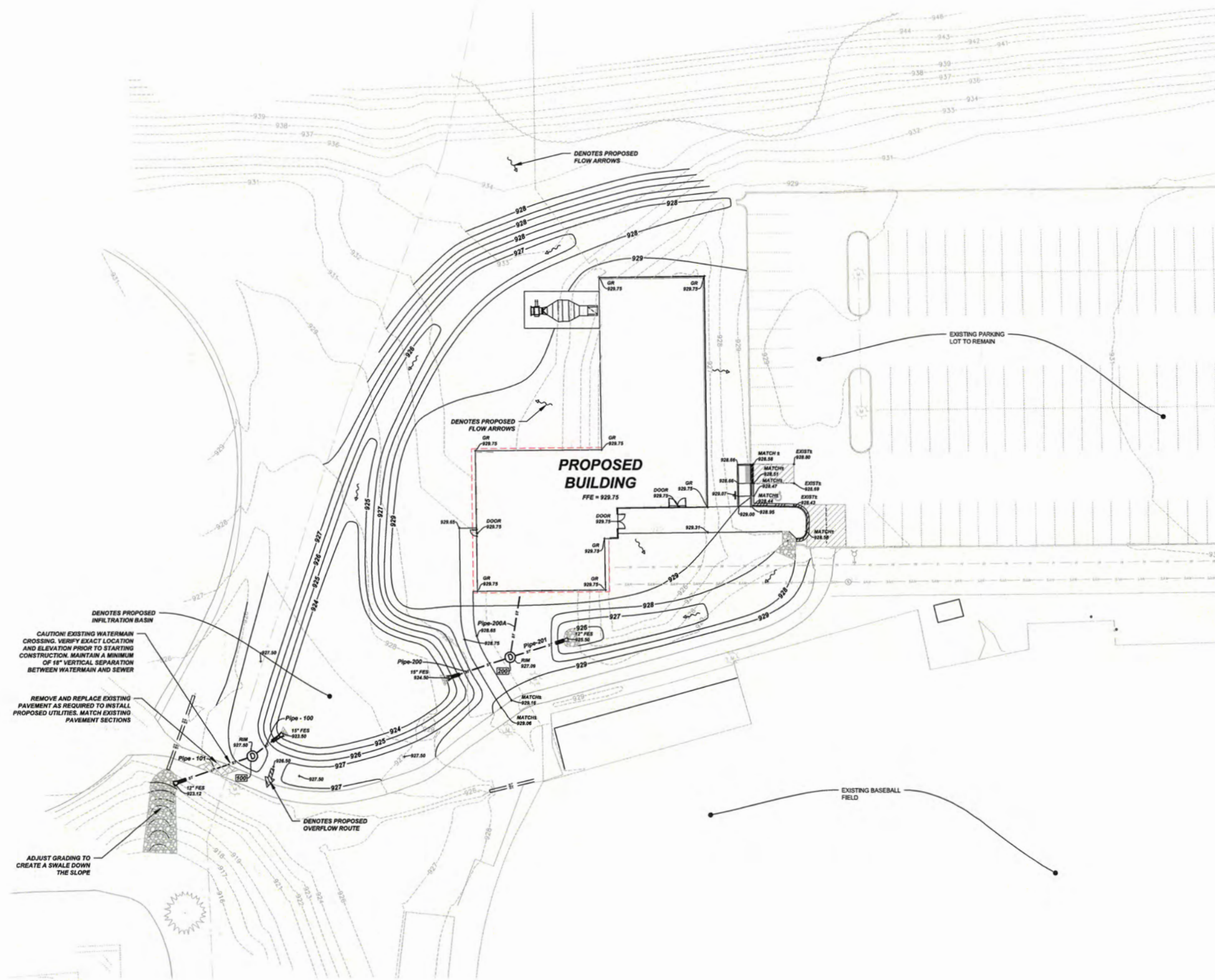
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GRADING PLAN

Scale:
SCALE: 1" = 20'

Date:
October 15, 2020
Project No.: 200047.00
WCTC Bid #: 2021-03

Sheet No.:

[M] C1.20

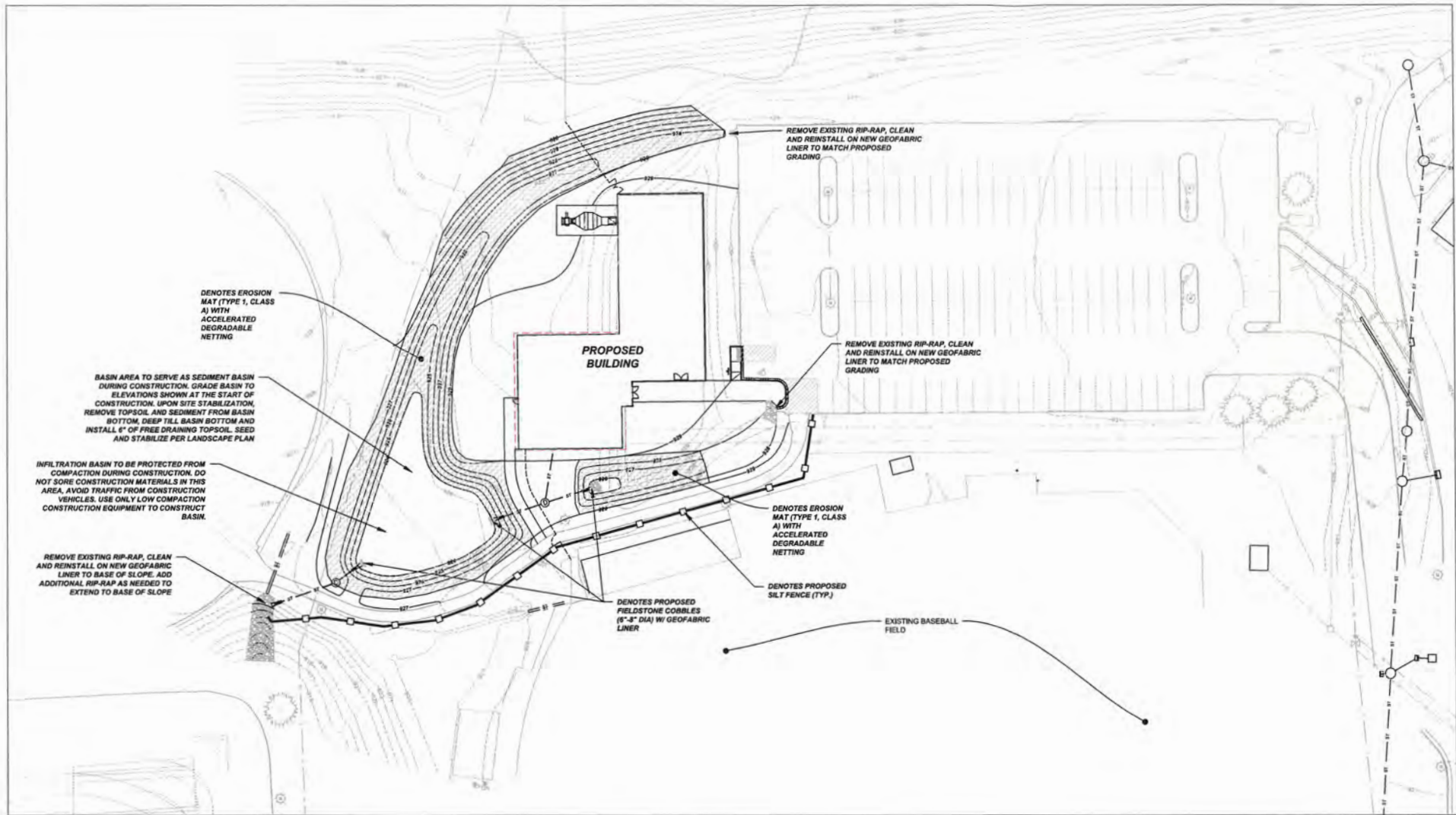


Storm Structure Table	
#	Structure Details
100	OUTLET CONTROL STRUCTURE (SEE DETAIL) RIM = 927.50 Pipe-101 = 923.50 Pipe-100 = 923.50
200	CATCH BASIN RIM = 927.00 Pipe-201 = 925.23 Pipe-200A = 925.23 Pipe-200 = 925.23

Storm Pipe Table					
Pipe Name	Size	Material	Length	Slope	Description
Pipe-200	12	HCPVC	29	3.50%	W FES
Pipe-200A	12	PVC	29	1.00%	
Pipe-201	12	HCPVC	27	1.00%	W FES
Pipe-100	12	HCPVC	15	0.00%	
Pipe-101	12	HCPVC	37	1.00%	W FES



IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THESE DRAWINGS, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.



- ### EROSION CONTROL NOTES AND PHASING
1. WORK PERMIT COVERAGE IS REQUIRED. POST WORK CERTIFICATE OF PERMIT COVERAGE ON SITE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED. THE SITE IS STABILIZED AND A NOTICE OF TERMINATION IS FILED WITH WDM.
 2. KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
 3. SUBMIT PLAN REVISIONS OR AMENDMENTS TO THE ENGINEER AT LEAST 5 DAYS PRIOR TO FIELD IMPLEMENTATION.
 4. CONTRACTOR IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION REPORTS ON-SITE AND MAKE THEM AVAILABLE UPON REQUEST.
 5. PRETECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
 6. WHEN POSSIBLE, PRESERVE EXISTING VEGETATION (ESPECIALLY ADJACENT TO SURFACE WATERS), MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE, MINIMIZE SOIL COMPACTION, AND PRESERVE TOPSOIL.
 7. REFER TO THE WDM STORMWATER CONSTRUCTION TECHNICAL STANDARDS AT www.wisconsin.gov/dnr/water/waterquality/erosioncontrol/.
 8. INSTALL PERIMETER EROSION CONTROLS (IF REQUIRED) AND TRACKOUT CONTROL PRACTICES PRIOR TO ANY LAND-DISTURBING ACTIVITIES, INCLUDING CE FILING AND GRADING. USE WDM TECHNICAL STANDARD 1057 FOR TRACKOUT CONTROL AT CONSTRUCTION ENTRANCES (IF REQUIRED).
 9. INSTALL INLET PROTECTION PRIOR TO LAND-DISTURBING ACTIVITIES IN THE CONTRIBUTING DRAINAGE AREA AND/OR IMMEDIATELY UPON INLET INSTALLATION. COMPLY WITH WDM TECHNICAL STANDARD STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES #106.
 10. STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED AREA. CONDUCT TEMPORARY GRADING FOR EROSION CONTROL PER WDM TECHNICAL STANDARD TEMPORARY GRADING PRACTICES FOR EROSION CONTROL #102.
 11. PERMITTING OF GROUNDWATER DEWATERING IS THE RESPONSIBILITY OF THE CONTRACTOR. GROUNDWATER DEWATERING IS SUBJECT TO A DNR WATERWATER DEWATERING PERMIT AND A DNR HIGH-CAPACITY WELL APPROVAL IF CUMULATIVE PUMP CAPACITY IS 10 GPM OR MORE.
 12. PROVIDE ANTI-SOUR PROTECTION AND MAINTAIN NON-EROSIVE FLOW DURING DEWATERING. PERFORM DEWATERING OF ACCUMULATED SURFACE RUNOFF IN ACCORDANCE WITH WDM TECHNICAL STANDARD DEWATERING #101.
 13. COMPLETE AND STABILIZE SEDIMENT BASINS PRIOR TO ANY FLOODING PRIOR TO MASS LAND DISTURBANCE TO CONTROL RUNOFF DURING CONSTRUCTION. REMOVE SEDIMENT AS NEEDED TO MAINTAIN 1 FEET OF DEPTH TO THE OUTLET, AND PROPERLY DEPOSE OF SEDIMENT REMOVED DURING MAINTENANCE (REFER TO NR 535). CONSTRUCT AND MAINTAIN THE SEDIMENT BASIN PER WDM TECHNICAL STANDARD SEDIMENT BASIN PRIOR AND SEDIMENT TRAP # 105.
 14. INSTALL AND MAINTAIN SILT FENCES PER WDM TECHNICAL STANDARD SILT FENCE #108. REMOVE SEDIMENT FROM BEHIND SILT FENCES AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-FOURTH OF THE FENCE AND/OR BARRIER HEIGHT.
 15. REPAIR BREAKS AND GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY. REPAIR ACT DECOMPOSING STRAW BALES (TYPICAL BALE LIFE IS 3 MONTHS). LOCATE, INSTALL, AND MAINTAIN STRAW BALES PER WDM TECHNICAL STANDARD DITCH CHECKS #102.
 16. INSTALL AND MAINTAIN FILTER SOCKS IN ACCORDANCE WITH WDM TECHNICAL STANDARD INTERMANUFACTURED PERIMETER CONTROL AND SLOPE INTERRUPTION PRODUCTS #107.
 17. IMMEDIATELY STABILIZE STOCKPILES AND SUBGRADE STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL. IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER:
 18. IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER, BETWEEN SEPTEMBER 15 AND OCTOBER 15. STABILIZE WITH HEALTHY TOLERANT, A PERENNIAL SEED MIXED WITH WINTER WHEAT, ANNUAL OATS, OR ANNUAL RYE, AS APPROPRIATE FOR REGION AND SOIL TYPE. OCTOBER 15 THROUGH COLD WEATHER. STABILIZE WITH A POLYMER AND DOMINANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.
 19. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
 20. SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY THE WDM MUNICIPALITY. SEPARATE SHEET MATERIALS (CULKS AND TRASH) AND DEPOSE OF APPROPRIATELY.
 21. CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WDM TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES # 109.
 22. PROPERLY DEPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING MATERIALS, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
 23. FOR NON-CHEMICAL FLOW ON DISTURBED OR CONSTRUCTED SLOPES 4:1 OR GREATER (OR AS SHOWN ON THE PLAN), PROVIDE CLASS I TYPE A (WITH ACCELERATED DEGRADABLE NETTING) EROSION CONTROL MATTING. SELECT EROSION MATTING FROM WDM TECHNICAL STANDARD EROSION MAT #103.
 24. FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS (OR AS SHOWN ON THE PLAN), PROVIDE NORTH AMERICAN GREEN SC-50 (OR APPROVED EQUAL) EROSION CONTROL MATTING. INSTALL AND MAINTAIN PER WDM TECHNICAL STANDARD CHANNEL EROSION MAT #103.
 25. MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.
 26. INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES (SUCH AS TEMPORARY SEDIMENT BASINS, DITCH CHECKS, EROSION CONTROL MATTING, SILT FENCING, FILTER SOCKS, MATS, SWALES, ETC.) AS DIRECTED BY WDM MUNICIPALITY.
 27. NOTICE OF TERMINATION: WHEN THE SITE HAS BEEN FULLY STABILIZED AND ALL STORMWATER DISCHARGES FROM THE SITE AUTHORIZED UNDER THE WORK PERMIT HAVE BEEN ELIMINATED, A NOTICE OF TERMINATION SHALL BE FILED WITH THE DNR. CONTRACTOR SHALL SUBMIT A COMPLETED NOTICE OF TERMINATION APPLICATION IN ACCORDANCE WITH THE PERMIT REQUIREMENTS PRIOR TO FINAL PAYMENT.

Zimmerman
ARCHITECTURAL STUDIOS, INC.

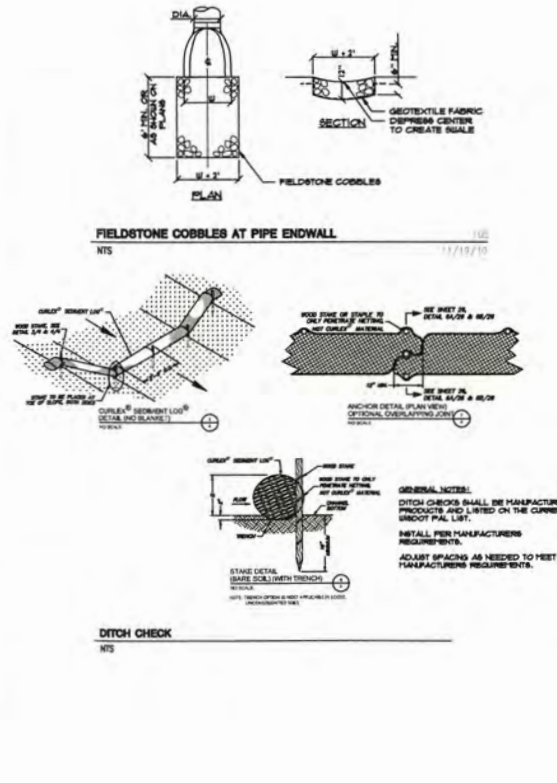
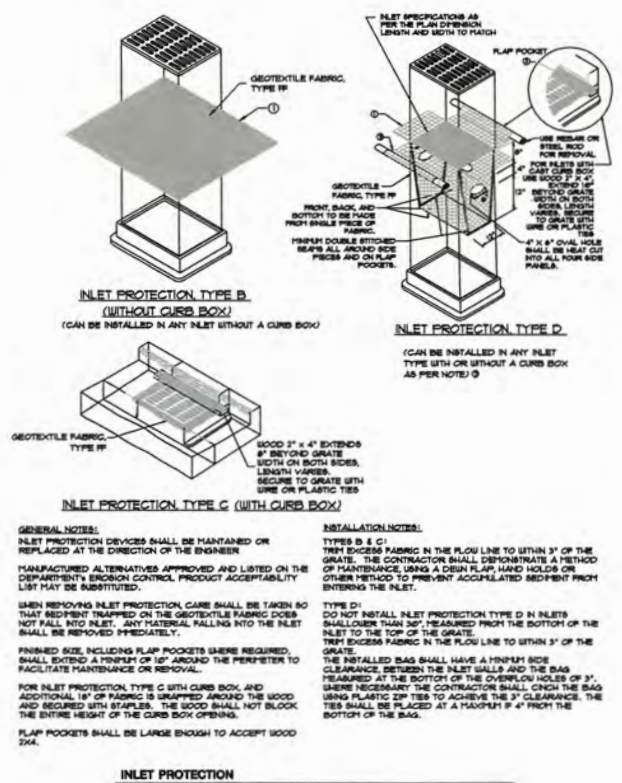
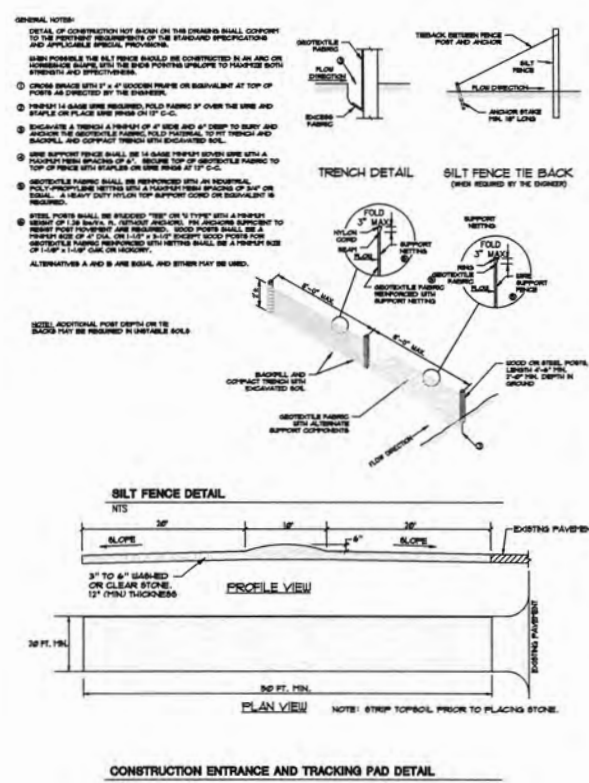
Consultant:
Harwood Engineering Consultants
255 North 21st Street, Waukesha, WI 53033

Project:
Waukesha County Technical College

**2021 BID SET #2
V BUILDING NEW CONSTRUCTION**

Location:
800 Main Street
Pewaukee, WI 53072

Key Plan:



EROSION CONTROL LEGEND	
SILT FILTER FENCE	
CONSTRUCTION ENTRANCE	
EROSION MAT	
DITCH CHECK	
INLET SEDIMENT GUARD	



IN ACCORDANCE WITH WISCONSIN STATUTE 192.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED 'ONE CALL SYSTEM' NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THESE DRAWINGS, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.

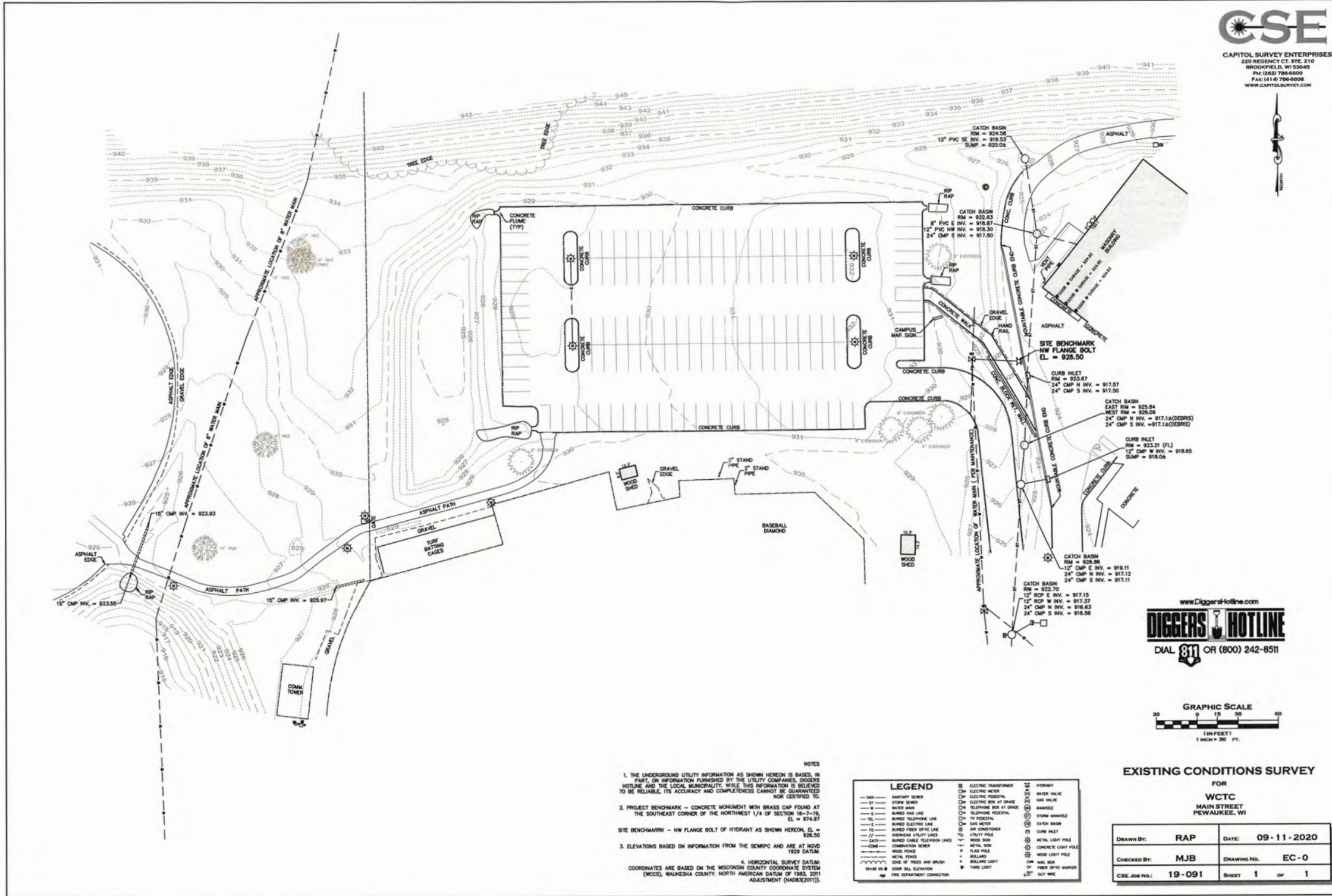
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EROSION CONTROL PLAN

Scale:
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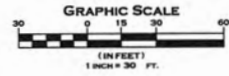
Date:
October 15, 2020

Project No.: WCTC Bid #
200047.00 2021-03

Sheet No.:
[M] C1.30



CAPITOL SURVEY ENTERPRISES
220 REGENCY CT. STE. 210
BROOKFIELD, WI 53045
PH: (262) 786-6600
FAX: (414) 786-6608
WWW.CAPITOLSURVEY.COM



NOTES

1. THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, ON INFORMATION FURNISHED BY THE UTILITY COMPANIES, DIGGERS HOTLINE AND THE LOCAL MUNICIPALITY, WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
2. PROJECT BENCHMARK - CONCRETE MONUMENT WITH BRASS CAP FOUND AT THE SOUTHEAST CORNER OF THE NORTHWEST 1/4 OF SECTION 16-7-19, EL. = 874.87
3. ELEVATIONS BASED ON INFORMATION FROM THE SEMPIC AND ARE AT NVD 1929 DATUM.
4. HORIZONTAL SURVEY DATUM: COORDINATES ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM (WCCS), WAUKESHA COUNTY, NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT (NAD83(2011)).

LEGEND

— SAN —	SANITARY SEWER	— E —	ELECTRIC LINE	— W —	WATER MAIN
— ST —	STORM SEWER	— G —	BURIED GAS LINE	— W —	WOOD SHED
— W —	WATER MAIN	— F —	BURIED FIBER OPTIC LINE	— T —	TRANSFORMER
— G —	BURIED GAS LINE	— T —	UNDERHEAD UTILITY LINES	— C —	CONCRETE CURB
— F —	BURIED FIBER OPTIC LINE	— C —	BURIED CABLE TELEPHONE LINES	— M —	METAL FENCE
— T —	UNDERHEAD UTILITY LINES	— M —	COMBINATION SEWER	— B —	BRASS CAP FOUND
— C —	BURIED CABLE TELEPHONE LINES	— B —	METAL FENCE	— S —	SIDE HILL ELEVATION
— M —	COMBINATION SEWER	— S —	EDGE OF PRESS AND BRUSH	— P —	FIRE DEPARTMENT CONNECTION
— B —	METAL FENCE	— P —	EDGE OF PRESS AND BRUSH	—	
— S —	EDGE OF PRESS AND BRUSH	—			
— P —	FIRE DEPARTMENT CONNECTION				

EXISTING CONDITIONS SURVEY FOR WCTC MAIN STREET PEWAUKEE, WI

DRAWN BY:	RAP	DATE:	09-11-2020
CHECKED BY:	MJB	DRAWING NO.:	EC-0
CSE JOB NO.:	19-091	SHEET:	1 OF 1

Zimmerman
ARCHITECTURAL STUDIOS, INC.

212 W. Mount Vernon Avenue | Milwaukee, WI 53233 | zstarch.com
TEL: (414) 478-8600
FAX: (414) 478-8882

Consultant:
Harwood Engineering Consultants
255 North 21st Street, Milwaukee, WI 53233
P: (414) 331-2222

Project:
WCTC Waukesha County Technical College
2021 BID SET #2
V BUILDING NEW CONSTRUCTION

Location:
800 Main Street
Pewaukee, WI 53072

Sheet:
EXISTING SURVEY

Scale:
SCALE: 1" = 30'

No.	Date	Description

Date:
October 15, 2020

Project No.: 200047.00 WCTC Bid #: 2021-03

Sheet No.:

[M] C1.40

Consultant

Project

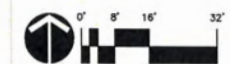


2021 BID SET #2
V BUILDING NEW
CONSTRUCTION

Location:
800 Main Street
Pewaukee, WI 53072

Key Plan:

Sheet:
Landscape Plan



Scale:
1/16"=1'-0" @ 42x30"

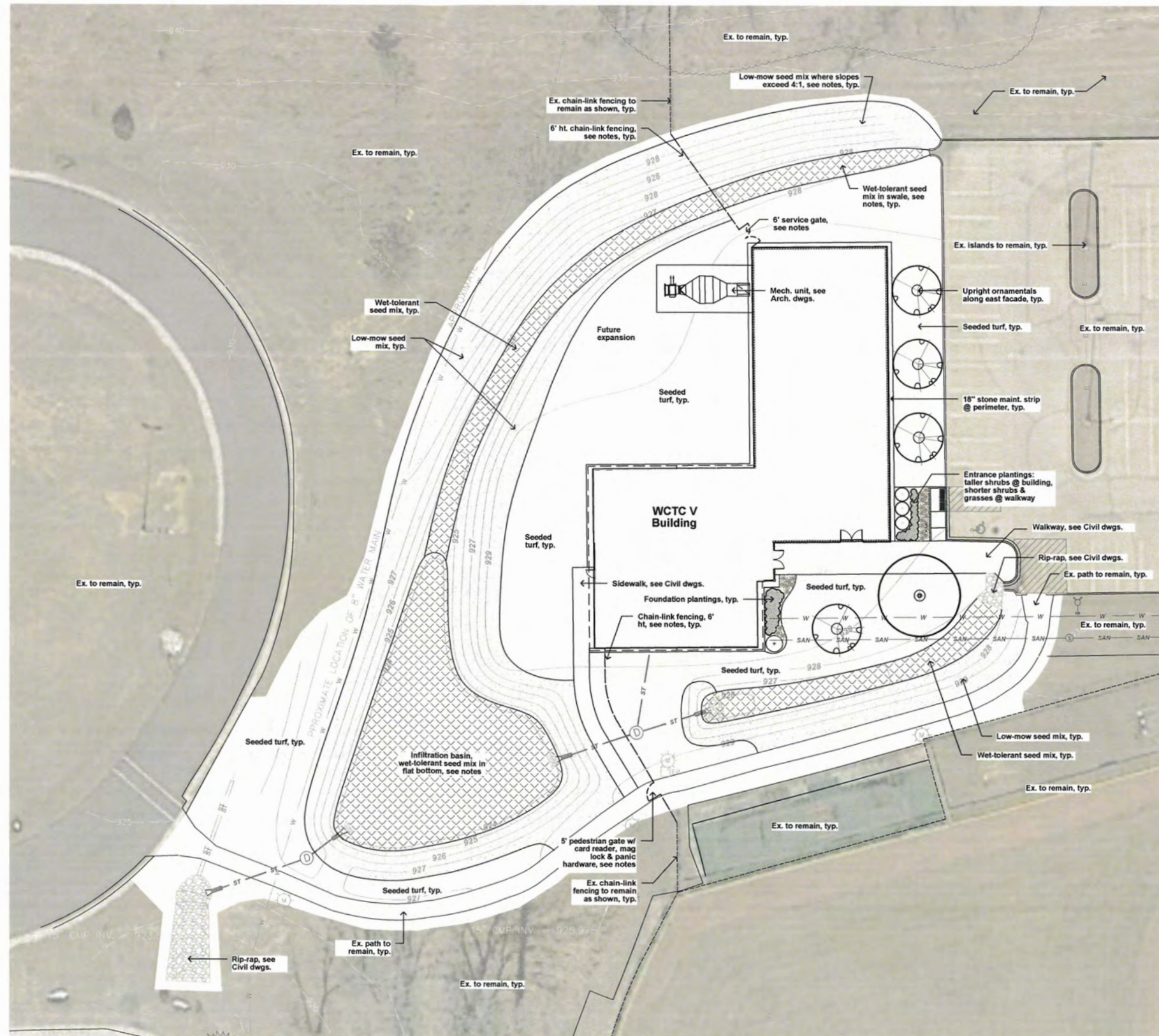
No.	Date	Description

Date:
October 15, 2020

Project No.: 200047.00
WCTC Bid #: 2021-03

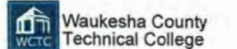
Sheet No.:

L1.00



Consultant:

Project:



2021 BID SET #2
V BUILDING NEW
CONSTRUCTION

Location:
800 Main Street
Pewaukee, WI 53072

Key Plan:

Sheet:

Landscape Details,
Schedules & Notes



Scale:
As Shown @ 4x30"

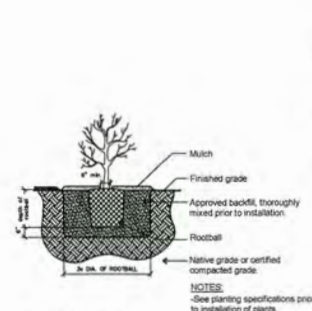
No. Date Description

Date:
October 15, 2020

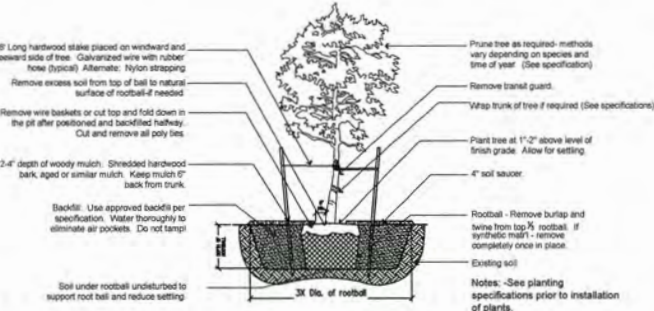
Project No.: WCTC Bid #:
200047.00 2021-03

Sheet No.:

L5.00



2 Shrub Planting Detail
Not To Scale



1 Tree Planting Detail
Not To Scale

General Notes

- All landscape installation & maintenance to conform with all applicable local codes & ordinances, including (but not limited to) select portions of Village of Pewaukee Municipal Code.
- See Site dwgs. for work limits, scope of construction, hardscape, dimensions &/or construction notes. See Civil dwgs. for all hardscape, grading, stormwater management, site utilities & erosion control. See Landscape dwgs. for landscape plans, details, schedules, notes. See Electrical drawings for all power, circulating & lighting.
- Contractor shall provide shop drawings and material submittals of all hardscape & landscape construction elements shown in plan set for Landscape Architect review prior to construction, including (but not limited to) fencing & access control equipment.
- Contractor shall provide samples for Landscape Architect's approval on all colors, finishes & materials prior to construction, including (but not limited to) topsoil, gravels, mulches, seed mixes et al.
- Caution: underground utilities are present on site. The Contractor shall verify location of all above- and below-grade utilities, both public & private, prior to commencement of site construction, if unanticipated above- or below-grade conditions are encountered, notify Client & Landscape Architect prior to proceeding. Coordinate with local public utility locating entity as needed.
- Contractor shall verify layout prior to construction. Contact Landscape Architect if discrepancies are found.
- Contractor shall limit construction traffic to within work limit lines. See Civil drawings for limits of disturbance. All adjacent damage shall be the responsibility of the contractor to restore. Turf restoration outside of work limits shall be done with seeded turf.
- Existing trees to remain on site shall be protected. Erect snow fencing @ 15' R or tree driplines, whichever is farther. All construction traffic, storage, compaction, parking or other disturbance within protection zones shall be prohibited for the duration of construction, except for work specifically indicated in the site plans.
- All written dimensions supersede scaled dimensions. All dimensions are taken from face of curb, wall or existing building foundations.

Landscape Notes

- Rough grading & topsoil import/spreading are to be completed by others. Finish grading, seed area and ornamental planting bed preparation shall be the landscape contractor's responsibility. Verify all existing site and grading conditions prior to construction.
- All landscape areas disturbed within the work limits shall be fine graded and restored with vegetative cover as shown. See plans for cover types & locations, see specifications for materials & installation.
- Contractor shall verify plant quantities shown on plan. Symbol quantities take precedence over plant keys, except if noted in the schedule. The contractor shall forward a material list to the Landscape Architect prior to construction identifying species, sizes, quantities & plant sources to be used on the project.
- All plant materials shall conform to the schedule and shall meet quality requirements outlined in the ANLA "American Standard for Nursery Stock", ANSI Z60.1-2004. The Landscape Architect reserves the right to reject any substandard planting material. Such rejected material shall be removed from the project site immediately.
- An Owner's representative shall be allowed to inspect and approve trees at the nursery prior to delivery to the site. The contractor shall coordinate with the Owner in a timely fashion to confirm.
- All nursery tags/labels shall be left on plant materials until the project punch-list inspection is completed by the Landscape Architect. Untagged materials will be assumed to be deficient.
- All planting beds shall contain screened blended topsoil mix to a min. depth of 18". All seeded and/or sodded areas shall have min. 6" Subgrade shall be tilled and/or scarified prior to placement of topsoil. Suitable existing soil may be used & mixed if previously approved. Contractor shall be responsible for obtaining soil tests for existing or imported topsoil. Soil testing results shall include (but are not limited to) soil pH, % organic matter, phosphorus, potassium, calcium & texture (percentages of sand, silt and/or clay.) Remove excessive clay, gravel & stones detrimental to healthy plant growth. Remove all debris greater than 1" diameter.
- Contractor shall be responsible for ensuring that all tree pits & planting areas drain properly. Notify Landscape Architect if drainage or moisture problems are encountered while planting.
- Contractor shall backfill all trees, shrubs & evergreens with a mix of 1/3 plant starter mix & 2/3 remaining soil. Plant Starter Mix shall be provided by Liesner Soils, Cedarburg WI, or approved equal.
- All perennial and groundcover areas shall receive a 3" layer of plant starter mix and perennial starter fertilizer, rototilled into the top 6" of blended topsoil in beds.
- Unless otherwise shown, all perennials & shrubs shall be planted in triangular arrangements. For plants not shown individually, refer to the spacing shown in the plant schedule.
- All plantings shall receive bark mulch in the beds. Bark mulch shall be hardwood bark, shredded, with no pieces larger than 1x4". Recycled mulch and/or dyed mulch will not be accepted. Mulch shall be applied @ 2-3" depth in woody planting areas and 1-2" depth in herbaceous areas. Mulch shall not touch plant trunks or stems.
- Bed edging shall be as follows:
 - Metal edging shall be installed at the building maint. strip. Edging shall be 3/16" x 4" alum. mill-finish. Permaloc "CleanLine" or "ProSlide" or approved equal.
 - 6" deep shovel-cut edging shall be installed at all other locations, typ.
- Contractor shall provide positive drainage away from all structures for a minimum of 10'.
- Contractor shall be responsible for providing base bid comprehensive landscape establishment, maintenance and warranty care for one year after installation. Work shall include all watering, weeding, pruning, fertilizing & pest management. Prior to beginning installation, the contractor shall submit a 12-mo. calendar for review/approval including all anticipated maintenance activities. All trees shall be warranted (with full replacement) for two full growing seasons.

Seeding Notes & Mixes

- This work shall consist of preparing the seed beds and furnishing, sowing and mulching the required seed on the various seeded areas, as outlined in the site plans and specifications. All turf restoration shall be seeded turf unless otherwise noted.
- Rough grading, drainage work, topsoiling and fine grading shall be completed before sowing the seed mixes. The areas to be seeded shall be worked with plow chisels, discs & harrows, soil finishers and/or other appropriate equipment until a reasonably even and loose seedbed is obtained. Seed beds shall be prepared immediately in advance of the seeding. If proposed seed areas are weedy, contractor to apply herbicide or other weed control measures to eliminate weeds. Conform with seed supplier's specifications if required.
- Confirm that anticipated project schedule date(s) fall within the respective seed supplier's approved calendar prior to installation. Installations completed outside of acceptable seeding dates shall be the performed at the sole responsibility and expense of the contractor. For dormant seeding, a min. of one over-seed application in the following season will be required.
- Seeds shall be PLS and will be mixed in accordance w/ mfr's specifications. Provide invoices, bag-tags or mix analysis results for approval prior to installation.
- The seed mixtures shall be sown by means of equipment adapted to the purpose. Mechanical distribution of seed (i.e. Truax seed drill, Britton seeder, cut/packer, silt-seeder, drop spreader or broadcast spreader) are the only accepted methods. No hand-broadcasting of seed.
- No seeding shall occur if the wind exceeds 12 MPH.
- Coordinate erosion control and/or mulching with Civil dwgs:
 - In sloped areas steeper than 4:1, erosion matting shall be installed by others. Landscape installation shall be coordinated with the erosion control contractor.
 - In areas with slopes between 4:1 and 8:1, landscape contractor shall apply clean hay or straw mulch, free of debris and seeds, on all newly seeded areas. Mulch shall be uniformly spread over the designated area at a rate of 55 bales per acre or as indicated in the respective seed supplier's specifications. Mulch material shall be chopped and blown into the seeded area.
 - Lightweight E.C. matting and/or hydromulch will be accepted as a no-cost alternate if approved by Landscape Architect prior to application.
- See Civil dwgs for erosion control devices. Coordinate with erosion control contractor where required to ensure that topsoil, seeding and/or mat installations are properly coordinated.
- Contractor shall be responsible for obtaining soil tests for all seeded areas. Soil testing results shall include (but are not limited to) soil pH, % organic matter, phosphorus, potassium, calcium & texture (percentages of sand, silt and/or clay.) Contaminated soil shall be removed from the project site if discovered. If necessary, supply soil amendments required for specified seed mixes and/or coordinate alternate mixes if soils cannot be properly conditioned.
- Cover crop seeding: All seeded areas shall include temporary annual cover crop seeding. Cover crop shall be Annual Rye or approved alternate species, seed rates appropriate for the season (i.e. sprn, summer or fall application).
- Seed mix substitutions will be considered only if submitted for approval 10 days before the close of bidding. All mixes shall be installed & maintained per supplier's specifications.

BLUEGRASS MIX:
"Deluxe 50 Mix" shall be supplied by Reinders, Elm Grove WI, 262-786-3300. Apply @ 8 lbs per 1000 GSF.

LOW-MOW MIX:
"No-Mow Lawn Mix" shall be supplied by Prairie Nursery, Westfield WI, 800-478-9453. Apply @ 200 lbs per AC, including Annual Rye cover crop.

WET TOLERANT MIX:
"Detention Basin - Bioswale See Mix" shall be supplied by Prairie Nursery. Apply @ 10 lbs per AC, plus cover crop.

- Contractor shall be responsible for providing base bid comprehensive seed area establishment, maintenance and warranty care for all seeded areas.
 - Bluegrass areas shall be for one season after installation. Work shall include all watering, weeding, fertilizing & mowing. Assume one mowing per week, plus overseeding of any bare spots found after 60 days.
 - All other seed areas (low-mow & wet-tolerant) shall be for three years after installation. Work shall include all watering, weeding (both spot herbicide and/or hand-pulling, depending on necessity), fertilizing, spring / fall clean-up & mowing. Expect 4-5 mowings in the first year, 3-4 mowings in the second year and 2-3 mowings in the third year. All mowings shall be timed to cut germinating weeds but not desirable forbs / grasses. Overseed each spring any bare areas larger than 1 sq. ft.
 - Prior to beginning installation, the contractor shall submit a 36-month calendar for review/approval including all anticipated maintenance activities.

Preliminary Plant Schedule

Note: Final species TBD, Contractor shall be responsible for calculating all plant quantities, typ.

Symbol	Qty.	Botanical Name	Common Name	Installed Size	Root	Spacing	Notes
[Qty. 01] Shade Trees							
Ace Gt		Acer Fraxinifolia 'Senna Green'	Senna Green Maple	3' Cal	B/B	As Shown	
Qlx Sky		Quercus Ill. 'Skyline'	Skyline Honeylocust	2.5' Cal	B/B	As Shown	50x30'
Tl Sila		Tilia Tomensis 'Sterling Silver'	Sterling Silver Linden	2.5' Cal	B/B	As Shown	40x30'
[Qty. 04] Ornamental Trees							
Mif Fr		Malus sargentii 'Firebird'	Firebird Sargent Crab	5' Ht	B/B	As Shown	Heavy Three-Side
Ame Aut		Amelanchier x. 'Autumn Brilliance'	Autumn Brilliance Serviceberry	8' Ht	B/B	As Shown	25x25' heavy 3-side
[Qty. TBD] Evergreen Trees							
Pic Gt		Pinus strobus var. densata	Black Hills Spruce	7' Ht	B/B	As Shown	20x10'
[Qty. 200SF] Deciduous Shrubs							
Rhu Gt		Rhus serrata 'Gris Low'	Gris Low Sumac	12-15" Ht	2 Gal.	48" o.c.	1x5'
Rib Gt		Ribes alpinum 'Green Mound'	Green Mound Alpine Cornut	15-24" Ht	2 Gal.	48" o.c.	
Spr Fr		Spiraea filifolia	Fritsch Spirea	15-18" Ht	2 Gal.	42" o.c.	
Spr Fl		Spiraea meyeri 'Palmer'	Palmer Def. Lilac	30-35" Ht	7 Gal.	48-60" o.c.	
Vib Sp		Viburnum sargentii 'Speed Breeze'	Speed Breeze Dogwood	30-35" Ht	7 Gal.	60" o.c.	
[Qty. 75SF] Evergreen Shrubs							
Jun Ht		Juniperus horizontalis 'Kaltif'	Kaltif Compact Juniper	24" spds	7 Gal.	54x60" o.c.	
Jun Bro		Juniperus sibirica 'Broadmoor'	Broadmoor Spreading Juniper	24" spds	7 Gal.	48-54" o.c.	
Fex Yew		Taxus x media 'Lambert'	Lambert Yew	24" spds	7 Gal.	54x60" o.c.	
[Qty. 100SF] Perennials & Grasses							
Clb Ove		Chloroglossis oca 'Overland'	Overland Feather Reed Grass	1 Gal.	Cont.	30-36" o.c.	
Hem Spp		50% mix of Hemerocallis 'Happy Returns' & 'Ramp Retreat'		4.5"	Cont.	18-24" o.c.	In drifts of 3-5 per cap.
Clb Cas		Clivia sibirica 'Cassia's Brother'	Cassia's Brother Siberian Iris	1 Gal.	Cont.	24" o.c.	
Mo Mor		Miscanthus 'Morning Light'	Morning Light Maidenhair Grass	1 Gal.	Cont.	30-36" o.c.	
Mo Sil		Miscanthus 'Silverfeather'	Silver Feather Maidenhair Grass	1 Gal.	Cont.	36" o.c.	
Sed Mat		Sedum 'Matrona'	Matrona Sedum	4.5"	Cont.	18" o.c.	
Spr Ht		Sporobolus holmboisii	Prairie Dropseed	1 Gal.	Cont.	18-24" o.c.	
Vib Sila		Viburnum sargentii 'Sweet'	Persimmon	2.5"	Cont.	12" o.c.	

Hardscape Notes

- Chain-link fencing: See specifications. Fencing shall be compliant with ASTM F1083. Fencing shall be 8' ht. w/ top-, mid- and bottom-rails. All posts shall be concrete set w/ max. 8" o.c. spacing. Line posts shall be min. 2-1/2" dia, corner posts shall be min. 3-1/2" dia & gate posts shall be min. 4" dia. Horizontal rails shall be min 1-5/8" dia. All tube shall be domestic steel, Whetstone WT-30 or equivalent. Mesh shall be 9-gauge, 2" opening, aluminum steel fabric, twisted selvage & top & bottom.
- Chain-link swing gates: See specifications. Gates shall be 6' ht. Shall be constructed w/ matching tube & fabric, all corners fully welded & gusseted, with heavy-duty swing hinges & grease fittings. Furnish with standard locking hardware.
- Swing gate panic hardware: Shall be XXX, available from XXX, CITY ST., XXX-XXX-XXXX. Or approved equal. Install at the single pedestrian gate. Furnish & install 1" mesh or solid panels around gate hardware to prevent someone from reaching through and actuating the latch.
- Gate access controls: See Electrical dwgs for all conduit to / from access control equipment. Gate locks shall be tied into the campus access control system. Contact Mike H. Faith Technologies, 262-510-3050 for further coordination. Card readers, call boxes, wiring, et al shall be By Owner or through Faith Tech (Not In Contract.)

STAFF REPORT

To: Village of Pewaukee Plan Commission

By: Mary Censky

Date Prepared: November 12, 2020

General Information:

Agenda Item: **6.b.**

Applicant/Status:

Engage Therapy Works in c/o Robin Hicks w/ written consent of the property owner.

Property owner:

690 Westfield Way LLC

Requested Action:

Sign Code waiver approval for a 43.13 sq.ft. tenant identification wall sign where the Code provides for 30 sq.ft. maximum.

Current Zoning:

B-1 Community Business

Current Master Plan Classification:

Community Commercial

Surrounding Zoning/Land Use:

North: R-M Multi-Family Residential

South: B-1 Community Business

East: B-1 Community Business

West: B-1 Community Business

Project Area:

~4.47 acres

Property Location:

609 Westfield Way – Tenant Suite J

Discussion:

The applicant represents that the façade of this multi-tenant building is too remote from the surrounding public streets, and even from the shared private drive between this property and the lots to the south where Applebee's and FedEx are located, to make a 30 square foot wall sign sufficiently visible for business purposes. Also, the façade of this building has a stepped style of construction leaving some store fronts less visible from certain angles than others.

In February, 2018 the owner of this property did receive a Sign Code waiver approval to place an oversize/overheight freestanding sign along the Westfield Way frontage of the property in order to display up to 32 sq.ft. of identification signage for each tenant. The owner cited the same issues of visibility,... at that time.

Sec. 70.103 of the Villages Sign Code provides as follows:

Appeals. The planning commission may, in its judgment, waive or modify the provisions of this chapter where it would further the public interest and uphold the purpose of this chapter as put forth in section 70.100. Such waiver or modification may be based on, among other things, site-

specific hardships such as topographic aberrations, traffic safety, accessibility and visual encumbrances.

Section Sec. 70.100 of the Villages Sign Code provides as follows:

Purpose. The purpose of this chapter shall be to:

- (1) Regulate the size, type, construction standards, maintenance and placement of signs situated within the boundaries of the Village of Pewaukee, Wisconsin.
- (2) Promote the public health, safety, welfare and comfort of the general public by:
 - a. Reducing distractions and obstructions from signs which would adversely effect traffic safety and alleviate hazards caused by signs projecting over or encroaching upon the public right-of-way;
 - b. Discouraging excessive visual competition in signage and ensuring that signs aid orientation and adequately identify uses and activities to the public; and
 - c. Preserving or enhancing the natural beauty and unique physical characteristics of the village as a community in which to live and work by requiring new and replacement signage which is:
 1. Harmonious with the building, surrounding neighborhood aesthetics and other signs in the area;
 2. Appropriate to the type of activity to which it pertains;
 3. Expressive of the village's identity in a manner which will not diminish property values; and
 4. Complementary to the village's architectural character and unobtrusive commercial developments.

Recommendation:

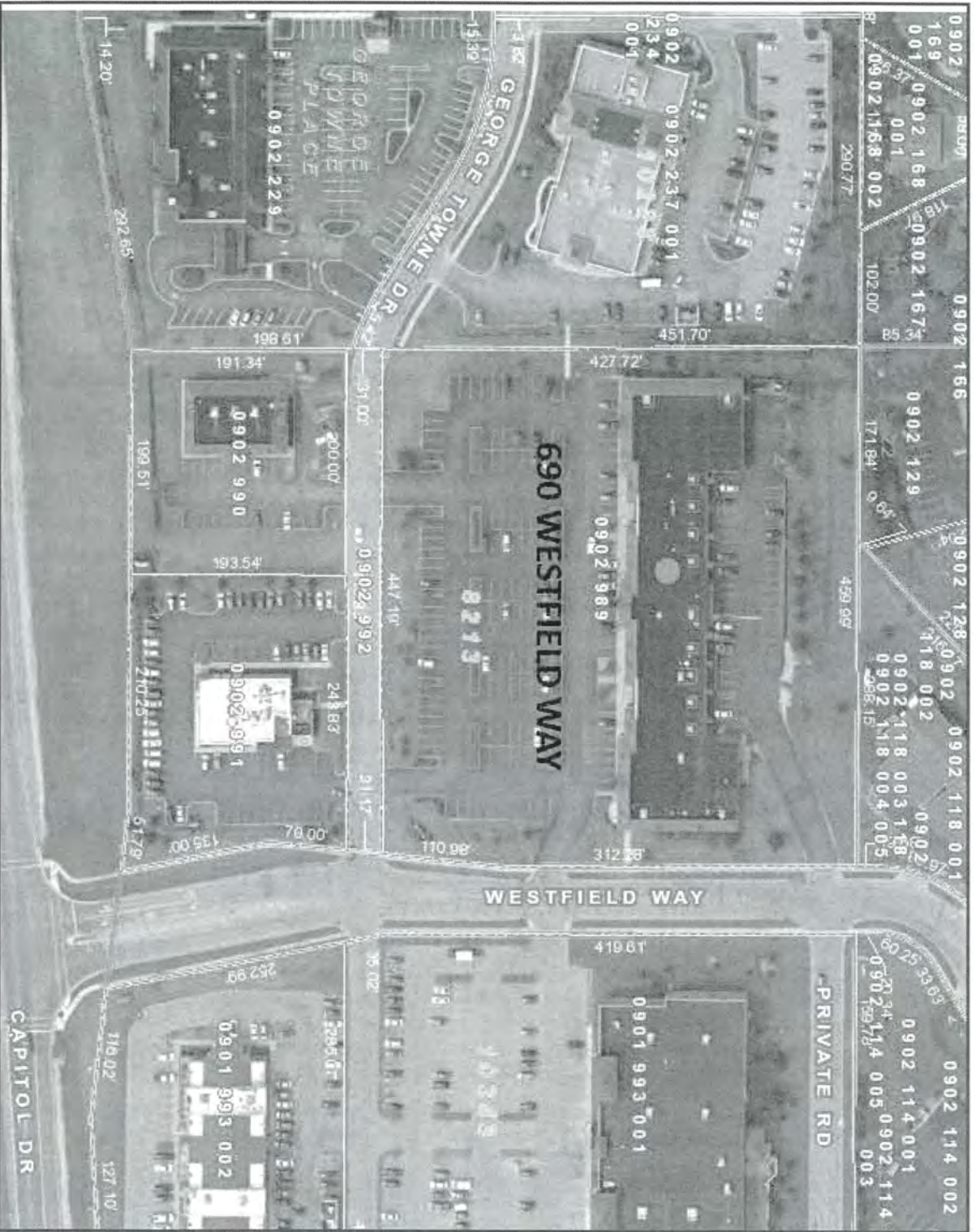
If the Planning Commission is inclined toward an approval in this case, the Planner recommends the following conditions be considered for attachment thereto:

- 1) Applicant to secure all necessary permits, such as but not limited to Sign Permit, Electrical Permit,... prior to placement/installation at the site.



LAND INFORMATION SYSTEMS DIVISION

Waukesha County GIS Map



The information and depictions herein are for informational purposes and Waukesha County specifically disclaims accuracy in this reproduction and specifically admonishes and advises that, if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Waukesha County will not be responsible for any damages which result from third party use of the information and depictions herein, or for use which ignores this warning.

Legend

- DNR Wetlands < .25 Acre
- DNR Wetlands > .25 Acre
- Environmental Corridors
- Water
- Isolated Natural Resource A
- Isolated Natural Resource B
- Primary Env. Corridor
- Primary Env. Corridor Water
- Secondary Env. Corridor
- Secondary Env. Corridor Wa
- FEMA Floodplain
- 0.2% Chance Flood
- 1% Chance Flood (Zone A)
- 1% Chance Flood Area (Zone B)
- AE Floodway
- Municipal Boundary_2K
- Facility/Sites_2K_Labels
- Lots_2K
- Lot
- Outlot
- Unit
- SimultaneousConveyance
- Assessor Plat
- CSM
- Condominium
- Subdivision
- Cartoline_2K
- <all other values>
- EA-Easement_Line
- PL-DA
- PL-Extended_Tie_line
- PL-Meander_Line
- PL-Note
- PL-Tie
- PL-Tie_Line
- Road Centerlines_2K
- Railroad_2K
- TaxParcel_2K
- Waterbodies_2K_Labels
- Waterlines_2K_Labels

Notes:

Printed: 11/5/2020



CUSTOMER INFO:

COMPANY NAME/CONTACT:

ADDRESS:

PHONE#:

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PLEASE CHECK ALL SPELLING, PUNCTUATION, FONTS, CAPITALIZATION PHONE NUMBER, WEBSITE, COLOR & SIZE REQUIREMENTS.

EE In SS e
THERAPYWORKS

138"

45"

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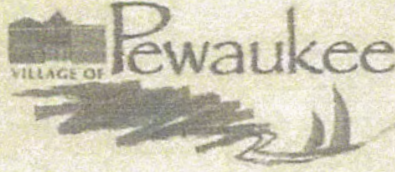
W237 N2889 Woodgate Rd, Unit B
Pewaukee, WI 53072
P: 262-691-9994 | F: 262-691-9995
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I HAVE REVIEWED THE ABOVE SPECIFICATIONS & HEREBY FULLY UNDERSTAND THE CONTENT OF WORK TO BE PERFORMED & APPROVE THIS PROJECT TO BEGIN.

CUSTOMER APPROVAL SIGNATURE: _____ DATE: _____
PRINT: _____

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Application is due 3 weeks prior to the Meeting Date.



**Village of Pewaukee – Planning Commission
Miscellaneous Approval Application Form – Return Completed Form along
with 11 copies of all materials to be reviewed.**

Address/Parcel No. of Property Involved: 690 Westfield Way, Suite J, Pewaukee

Zoning of Property: B-1

Current Owner of Property: ~~Sally Sarich~~ 690 Westfield Way, LLC

Applicant – Name: Robin Hicks

Address: N41 W22072 Sundar Creek Dr, Pewaukee

Phone: 815-449-2744

Fax: _____

Type of Request: Check All That Apply

Sign Plan Approval:

Final Plat Approval:

Certified Survey Map:

Other (Describe Below):

Prelim. Plat Approval:

Developer's Agreement:

Signature of Property Owner as listed on this Application:

[Signature] 10/21/2020
Sally Sarich, Manager, 690 Westfield Way, LLC

Application will not be processed without the Owner's Signature regardless of who is listed as the Applicant. This signature authorizes the Village of Pewaukee to process the Application as it pertains to my property and further authorizes the Village or its representatives to conduct reasonable and routine inspections of my property for the purposes of evaluating this Application.

Signature of Applicant (if different than Owner):

[Signature]

235 Hickory Street, Pewaukee Phone: (262) 691-5660 Fax: (262) 691-5664	SIGN PERMIT APPLICATION Village of Pewaukee	Permit#
Sign Location Address: <u>690 Westfield Way, Suite J, Pewaukee</u>		Parcel#
Owner Name: <u>Saf Sarich</u>	Email Address: <u>saf@thekenmoregroup.com</u>	Telephone# <u>773-383-5040</u>
Mailing Address: <u>2835 N Sheffield Ave, Suite 403, Chicago, IL 60657</u>		Cell# <u>Same</u>
Tenant Name: <u>Robin Hicks</u>	Email Address: <u>robin@engagetherapyworks.com</u>	Telephone# <u>262-696-8190</u>
Mailing Address: <u>N41W22672 Sunder Creek Drive, Pewaukee, WI 53072</u>		Cell# <u>815-499-2744</u>
Sign Company Name: <u>Pewaukee Signarama</u>	Email Address: <u>Ken@signarama-pewaukee.com</u>	Telephone# <u>262-691-9994</u>
Mailing Address: <u>W237N2889 Woodgate Rd Unit B, Pewaukee</u>		Cell#
TYPE OF SIGN		
<input type="checkbox"/> Freestanding Ground <input type="checkbox"/> Projecting <input checked="" type="checkbox"/> Wall <input type="checkbox"/> Awning or Canopy <input type="checkbox"/> Marquee <input type="checkbox"/> Other		
Illuminated / Non-Illuminated Brief Description of Sign: <u>Engage Therapy Works</u>		Temporary: Yes / No <input checked="" type="checkbox"/>
DISTANCE FROM SIGN TO LOT LINES: <u>22.5</u> FRONT <u>200</u> REAR <u>135</u> RIGHT <u>325</u> LEFT		
If repairs or replacement contemplated, is the current sign, etc., non-conforming? <input type="checkbox"/> YES <input type="checkbox"/> NO		
NAME OF SURETY BOND OR INSURANCE COMPANY ON CERTIFICATE OF ISSUANCE (attach bond or certificate with hold harmless clause to the Village on this application)		
DATE SIGN TO BE ERECTED <u>ASAP</u>	SIGN SQUARE FOOTAGE <u>43.125</u>	SIGN HEIGHT (above grade) <u>Approx 15 ft</u>
ESTIMATED COST <u>\$4850.00</u>		
Application is hereby made for a permit to erect / alter a sign as described herein or shown in accompanying plans or specifications where sign is to be located as shown on the accompanying plan. The information which follows and the accompanying plan and specifications with the representations contained herein are made part of this application in reliance upon which the building inspector is requested to issue a building permit.		
It is understood and agreed by this applicant that any error, misstatement or misrepresentation of material fact, either with or without intention on the part of this application such as would operate to cause a refusal of this application or any material alteration or changed in the accompanying plans, specifications or structure made subsequent to the issuance of a permit in accordance without the written approval of the building inspector shall constitute sufficient grounds for the revocation of such permit.		
SIGNATURE OF APPLICANT <u>Robin Hicks</u>	PRINTED NAME OF APPLICANT <u>Robin Hicks</u>	DATE <u>10/22/2020</u>
PLEASE SUBMIT THE FOLLOWING DOCUMENTS WITH THIS APPLICATION:		
<input type="checkbox"/> SITE SURVEY (must detail location and setbacks to lot lines) <input type="checkbox"/> COLOR RENDERING <input type="checkbox"/> SURETY BOND OR INSURANCE COMPANY ON CERTIFICATE OF ISSUANCE <input type="checkbox"/> (IF APPLICANT IS A TENANT) NOTARIZED DOCUMENT FROM PROPERTY OWNER AUTHORIZING PROPOSED USE OF PROPERTY		
APPROVAL CONDITIONS	This permit is issued pursuant to the following conditions. Failure to comply may result in suspension or revocation of this permit or other penalty. <input type="checkbox"/> See attached for conditions of approval. Building & Electrical Permits may be applied for through the Building Services Department located at the Pewaukee City Hall, W240N3065 Pewaukee Road.	
OFFICE USE ONLY	DATE RECEIVED:	STAFF INITIALS:
(AREA x \$2.50/sq ft) \$ _____ + \$50.00 (BASE FEE) = \$ _____	DATE PAID _____	RECEIPT# _____
FAILURE TO OBTAIN PERMIT WILL RESULT IN THE TOTAL FEES DOUBLING TEMPORARY SIGN EXPIRATION DATE: _____		
PERMIT APPROVED/DENIED BY: _____	DATE: _____	

CUSTOMER INFO:

COMPANY NAME/CONTACT:

ADDRESS:

PHONE#:

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Pewaukee

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Pewaukee, WI 53072
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THE RAPYWORKS

138" x 45"

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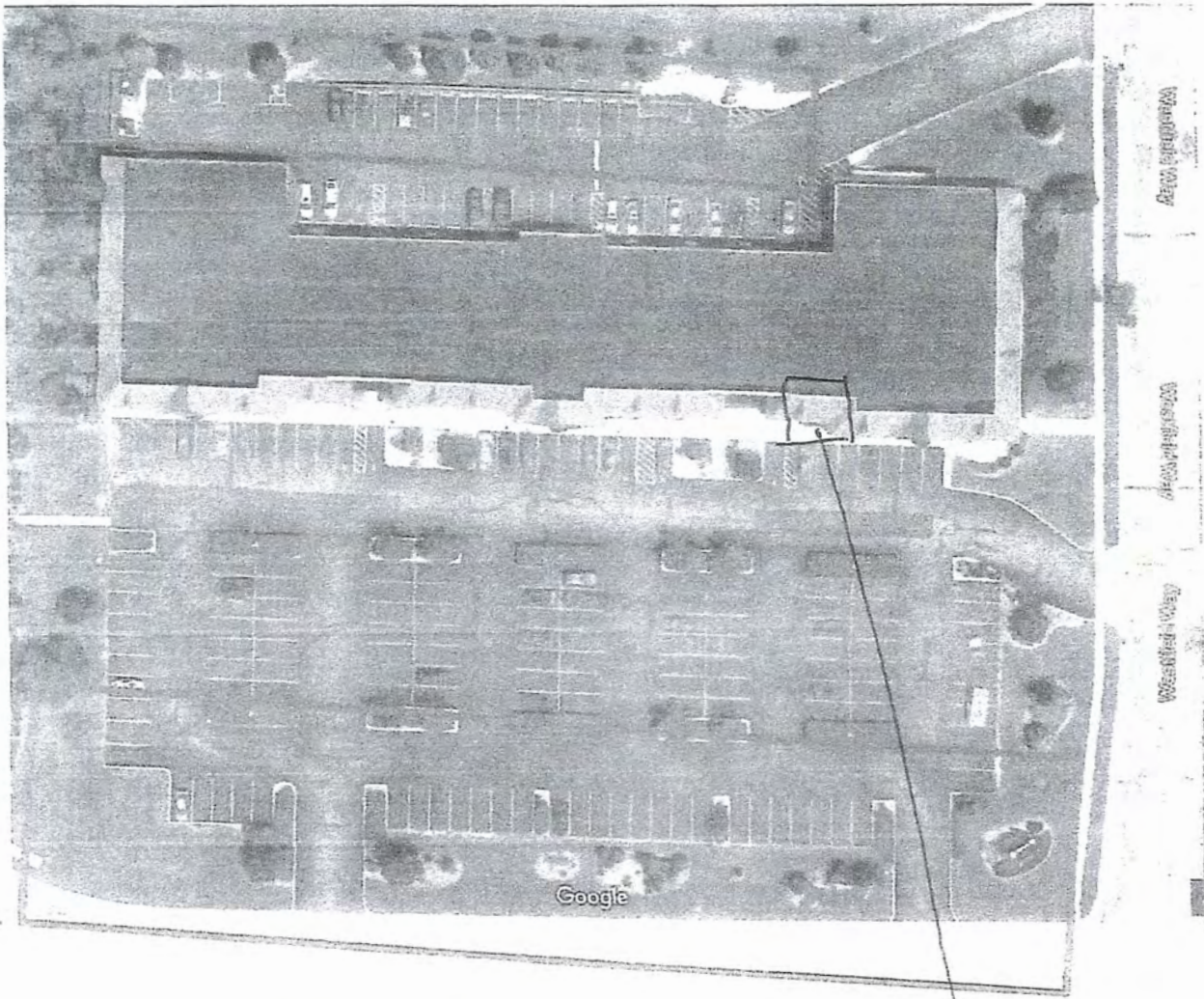
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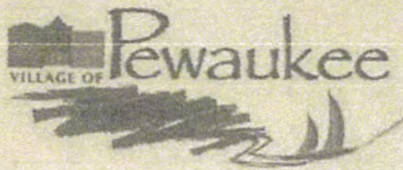
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PRINT: _____

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Engage Therapyforks
690 Westfield Way
Suite J



PROFESSIONAL SERVICES REIMBURSEMENT NOTICE

Pursuant to the Village of Pewaukee Code of Ordinances, the Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village. Also, be advised that pursuant to the Village of Pewaukee Code of Ordinances, certain other fees, costs, and charges are the responsibility of the property owner or responsible party.

I, the undersigned, have been advised that, pursuant to the Village of Pewaukee Code of Ordinances, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred by the Village. In addition, I have been advised that pursuant to the Village of Pewaukee Code of Ordinances, certain other fees, costs, and charges are my responsibility.

The Village will place fees from unpaid invoices on the real estate tax bill of the property that corresponds to the incurred services.

RESPONSIBLE PARTY & MAILING ADDRESS

Robin Hicks
Name of Company and/or Individual

N41 W 22672 Sunder Creek Dr, Pewaukee, WI 53072
Street City State Zip

Phone 315-499-2744 Fax: _____ E-Mail: robin@engagethepaperworks.com

Robin Hicks 10/21/2020
Signature of Applicant & Date

[Signature] 10/21/2020
Signature of Property Owner & Date

Village Official Accepting Form & Date

SEND ALL PROFESSIONAL SERVICES INVOICES TO: (Check One)
____ Property Owner
<input checked="" type="checkbox"/> Applicant

STAFF REPORT

To: Village of Pewaukee Plan Commission

By: Mary Censky

Date Prepared: November 12, 2020

General Information:

Agenda Item: **6.c.**

Applicant/Status:

The Chiropractors in c/o Chris Rebholz, w/ written consent of the property owner.

Property owner:

690 Westfield Way LLC

Requested Action:

Sign Code waiver approval for a 66.66 sq.ft. tenant identification wall sign where the Code provides for 30 sq.ft. maximum.

Current Zoning:

B-1 Community Business

Current Master Plan Classification:

Community Commercial

Surrounding Zoning/Land Use:

North: R-M Multi-Family Residential

South: B-1 Community Business

East: B-1 Community Business

West: B-1 Community Business

Project Area:

~4.47 acres

Property Location:

609 Westfield Way – Tenant Suite E

Discussion:

The applicant represents that the façade of this multi-tenant building is too remote from the surrounding public streets, and even from the shared private drive between this property and the lots to the south where Applebee's and FedEx are located, to make a 30 square foot wall sign sufficiently visible for business purposes. Also, the façade of this building has a stepped style of construction leaving some store fronts less visible from certain angles than others.

In February, 2018 the owner of this property did receive a Sign Code waiver approval to place an oversize/overheight freestanding sign along the Westfield Way frontage of the property in order to display up to 32 sq.ft. of identification signage for each tenant. The owner cited the same issues of visibility,... at that time.

Sec. 70.103 of the Villages Sign Code provides as follows:

Appeals. The planning commission may, in its judgment, waive or modify the provisions of this chapter where it would further the public interest and uphold the purpose of this chapter as put forth in section 70.100. Such waiver or modification may be based on, among other things, site-

specific hardships such as topographic aberrations, traffic safety, accessibility and visual encumbrances.

Section Sec. 70.100 of the Villages Sign Code provides as follows:

Purpose. The purpose of this chapter shall be to:

- (1) Regulate the size, type, construction standards, maintenance and placement of signs situated within the boundaries of the Village of Pewaukee, Wisconsin.
- (2) Promote the public health, safety, welfare and comfort of the general public by:
 - a. Reducing distractions and obstructions from signs which would adversely effect traffic safety and alleviate hazards caused by signs projecting over or encroaching upon the public right-of-way;
 - b. Discouraging excessive visual competition in signage and ensuring that signs aid orientation and adequately identify uses and activities to the public; and
 - c. Preserving or enhancing the natural beauty and unique physical characteristics of the village as a community in which to live and work by requiring new and replacement signage which is:
 1. Harmonious with the building, surrounding neighborhood aesthetics and other signs in the area;
 2. Appropriate to the type of activity to which it pertains;
 3. Expressive of the village's identity in a manner which will not diminish property values; and
 4. Complementary to the village's architectural character and unobtrusive commercial developments.

Recommendation:

If the Planning Commission is inclined toward an approval in this case, the Planner recommends the following conditions be considered for attachment thereto:

- 1) Applicant to secure all necessary permits, such as but not limited to Sign Permit, Electrical Permit,... prior to placement/installation at the site.

STAFF REPORT

To: Village of Pewaukee Plan Commission

By: Mary Censky

Date Prepared: November 12, 2020

General Information:

Agenda Item: **6.d.**

Applicant/Status:

Get Salty & Lit c/o Chris Rebholz, w/
written consent of the property
owner.

Property owner:

690 Westfield Way LLC

Requested Action:

Sign Code waiver approval for a
46.80 sq.ft. tenant identification wall
sign where the Code provides for 30
sq.ft. maximum.

Current Zoning:

B-1 Community Business

Current Master Plan Classification:

Community Commercial

Surrounding Zoning/Land Use:

North: R-M Multi-Family
Residential

South: B-1 Community Business

East: B-1 Community Business

West: B-1 Community Business

Project Area:

~4.47 acres

Property Location:

609 Westfield Way – Tenant Suite F

Discussion:

The applicant represents that the façade of this multi-tenant building is too remote from the surrounding public streets, and even from the shared private drive between this property and the lots to the south where Applebee's and FedEx are located, to make a 30 square foot wall sign sufficiently visible for business purposes. Also, the façade of this building has a stepped style of construction leaving some store fronts less visible from certain angles than others.

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Recommendation:

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- 1) Applicant to secure all necessary permits, such as but not limited to Sign Permit, Electrical Permit,... prior to placement/installation at the site.

From: Saf Sarich (TKG) saf@thekenmoregroup.com
Subject: Re: Building signage take 2
Date: September 28, 2020 at 11:33 AM
To: Christopher Rebolz drchris@thechiropractors.biz
Cc: Rebecca Rebolz rebecca@getsaltyandlit.com

Hello Chris and Rebecca,
Signs look good. They're approved from our end.
Thanks,
Saf

--

Saf Sarich
Owner / Managing Broker
The Kenmore Group, LLC
2835 N. Sheffield Ave., Suite 403
Chicago, Illinois 60657
cell: (773) 383-5040
email: saf@thekenmoregroup.com
web: www.thekenmoregroup.com

On Mon, Sep 28, 2020 at 10:15 AM Christopher Rebolz <drchris@thechiropractors.biz> wrote:

Christopher Rebolz, DC

The Chiropractors, LLC
W238N1690 Rockwood Dr #200
Waukesha, WI 53188
262.691.0997
www.thechiropractors.biz

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235 Hickory Street, Pewaukee Phone: (262) 691-5660 Fax: (262) 691-5664	SIGN PERMIT APPLICATION Village of Pewaukee		Permit#
Sign Location Address: <u>690 WESTFIELD WAY, SUITE E</u>		Parcel#	
Owner Name:	Email Address:	Telephone#	
<u>CHRISTOPHER REBHOLE</u>	<u>drchris@thechiropractors.biz</u>	<u>262-691-0997</u>	
Mailing Address:		Cell#	
<u>690 WESTFIELD WAY SUITE F, PEWAUKEE, WI 53072</u>		<u>262-442-5091</u>	
Tenant Name:	Email Address:	Telephone#	
Mailing Address:		Cell#	
Sign Company Name:	Email Address:	Telephone#	
<u>BAUER SIGN COMPANY</u>	<u>DSALKEN@BAUERSIGNUSA.COM</u>	<u>262-784-0500</u>	
Mailing Address:		Cell#	
<u>2500 S 170th ST, NEW BERLIN, WI 53151</u>			
TYPE OF SIGN			
<input type="checkbox"/> Freestanding Ground <input type="checkbox"/> Projecting <input checked="" type="checkbox"/> Wall <input type="checkbox"/> Awning or Canopy <input type="checkbox"/> Marquee <input type="checkbox"/> Other _____			
Illuminated / Non-Illuminated: <u>Brief Description of Sign: ILLUMINATED</u>			Temporary: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
DISTANCE FROM SIGN TO LOT LINES: <input type="checkbox"/> FRONT <input type="checkbox"/> REAR <input type="checkbox"/> RIGHT <input type="checkbox"/> LEFT			
If repairs or replacement contemplated, is the current sign, etc., non-conforming? <input type="checkbox"/> YES <input type="checkbox"/> NO			
NAME OF SURETY BOND OR INSURANCE COMPANY ON CERTIFICATE OF ISSUANCE (attach bond or certificate with hold harmless clause to the Village on this application)			
DATE SIGN TO BE ERECTED	SIGN SQUARE FOOTAGE	SIGN HEIGHT (above grade)	ESTIMATED COST
<u>~ 11/20/2020</u>	<u>66.66</u>	<u>ON BUILDING FACADE</u>	<u>\$ 7290</u>
Application is hereby made for a permit to erect / altar a sign as described herein or shown in accompanying plans or specifications where sign is to be located as shown on the accompanying plan. The information which follows and the accompanying plan and specifications with the representations contained herein are made part of this application in reliance upon which the building inspector is requested to issue a building permit.			
It is understood and agreed by this applicant that any error, misstatement or misrepresentation of material fact, either with or without intention on the part of this application such as would operate to cause a refusal of this application or any material alteration or changed in the accompanying plans, specifications or structure made subsequent to the issuance of a permit in accordance without the written approval of the building inspector shall constitute sufficient grounds for the revocation of such permit.			
SIGNATURE OF APPLICANT		PRINTED NAME OF APPLICANT	DATE
		<u>CHRISTOPHER REBHOLE</u>	<u>9.22.2020</u>
PLEASE SUBMIT THE FOLLOWING DOCUMENTS WITH THIS APPLICATION:			
<input type="checkbox"/> SITE SURVEY (must detail location and setbacks to lot lines) <input type="checkbox"/> COLOR RENDERING <input type="checkbox"/> SURETY BOND OR INSURANCE COMPANY ON CERTIFICATE OF ISSUANCE <input type="checkbox"/> (IF APPLICANT IS A TENANT) NOTARIZED DOCUMENT FROM PROPERTY OWNER AUTHORIZING PROPOSED USE OF PROPERTY			
APPROVAL CONDITIONS	This permit is issued pursuant to the following conditions. Failure to comply may result in suspension or revocation of this permit or other penalty. <input type="checkbox"/> See attached for conditions of approval. Building & Electrical Permits may be applied for through the Building Services Department located at the Pewaukee City Hall, W240N3065 Pewaukee Road.		
OFFICE USE ONLY	DATE RECEIVED:	STAFF INITIALS:	
(AREA x \$2.50/sq ft) \$ _____ + \$50.00 (BASE FEE) = \$ _____	DATE PAID _____	RECEIPT# _____	
FAILURE TO OBTAIN PERMIT WILL RESULT IN THE TOTAL FEES DOUBLING TEMPORARY SIGN EXPIRATION DATE: _____			
PERMIT APPROVED/DENIED BY: _____		DATE: _____	

File The Chiropractors
Location Waukesha
Client Christopher Rebolz
Sales rep Dave Salkin
Date cb 09/08/20
Revision cb 09/21/20, cb 09/24/20

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
SPECIFICATIONS

FABRICATE AND INSTALL (1SET) INTERNALLY ILLUMINATED, RACEWAY MOUNTED CHANNEL LETTERS.

- FACES TO BE #7328 WHITE ACRYLIC
- RETURNS TO BE .050X3" AND BACKS TO BE .063 ALUMINUM
- TRIMCAPS TO BE 1" BLACK
- EXTERIORS PAINTED BLACK
- INTERIORS PAINTED WHITE
- ILLUMINATED WITH WHITE LEDs
- POWERED WITH APPROPRIATE LOAD POWER SUPPLIES
- RACEWAYS TO BE PAINTED TBD TO MATCH FACADE

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Scale: 3/8" = 1'

235 Hickory Street, Pewaukee Phone: (262) 691-5660 Fax: (262) 691-5664	SIGN PERMIT APPLICATION Village of Pewaukee		Permit#
Sign Location Address: <u>690 WESTFIELD WAY, SUITE F</u>			Parcel#
Owner Name: <u>CHRISTOPHER REBHOLZ</u>	Email Address: <u>drchris@thechiropractors.biz</u>	Telephone# <u>262-691-0977</u>	
Mailing Address: <u>690 WESTFIELD WAY SUITE F, PEWAUKEE, WI 53072</u>			Cell# <u>262-442-5091</u>
Tenant Name:	Email Address:	Telephone#	
Mailing Address:			Cell#
Sign Company Name: <u>BAUER SIGN COMPANY</u>	Email Address: <u>DSALKIN@BAUERSIGNUSA.COM</u>	Telephone# <u>262-784-0500</u>	
Mailing Address: <u>2500 S 170th ST, NEW BERLIN, WI 53151</u>			Cell#
TYPE OF SIGN			
<input type="checkbox"/> Freestanding Ground <input type="checkbox"/> Projecting <input checked="" type="checkbox"/> Wall <input type="checkbox"/> Awning or Canopy <input type="checkbox"/> Marquee <input type="checkbox"/> Other _____			
Illuminated / Non-Illuminated: <u>Brief Description of Sign: ILLUMINATED</u>			Temporary: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
DISTANCE FROM SIGN TO LOT LINES: FRONT _____ REAR _____ RIGHT _____ LEFT _____			
If repairs or replacement contemplated, is the current sign, etc., non-conforming? YES _____ NO _____			
NAME OF SURETY BOND OR INSURANCE COMPANY ON CERTIFICATE OF ISSUANCE (attach bond or certificate with hold harmless clause to the Village on this application)			
DATE SIGN TO BE ERECTED	SIGN SQUARE FOOTAGE	SIGN HEIGHT (above grade)	ESTIMATED COST
<u>~ 11/20/2020</u>	<u>46.80</u>	<u>ON BUILDING FACADE</u>	<u>\$ 4690</u>
<p>Application is hereby made for a permit to erect / alter a sign as described herein or shown in accompanying plans or specifications where sign is to be located as shown on the accompanying plan. The information which follows and the accompanying plan and specifications with the representations contained herein are made part of this application in reliance upon which the building inspector is requested to issue a building permit.</p> <p>It is understood and agreed by this applicant that any error, misstatement or misrepresentation of material fact, either with or without intention on the part of this application such as would operate to cause a refusal of this application or any material alteration or changed in the accompanying plans, specifications or structure made subsequent to the issuance of a permit in accordance without the written approval of the building inspector shall constitute sufficient grounds for the revocation of such permit.</p>			
SIGNATURE OF APPLICANT		PRINTED NAME OF APPLICANT	DATE
		<u>CHRISTOPHER REBHOLZ</u>	<u>9.22.2020</u>
PLEASE SUBMIT THE FOLLOWING DOCUMENTS WITH THIS APPLICATION:			
<input type="checkbox"/> SITE SURVEY (must detail location and setbacks to lot lines) <input type="checkbox"/> COLOR RENDERING <input type="checkbox"/> SURETY BOND OR INSURANCE COMPANY ON CERTIFICATE OF ISSUANCE <input type="checkbox"/> (IF APPLICANT IS A TENANT) NOTARIZED DOCUMENT FROM PROPERTY OWNER AUTHORIZING PROPOSED USE OF PROPERTY			
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OFFICE USE ONLY	DATE RECEIVED:	STAFF INITIALS:	
(AREA x \$2.50/sq ft) \$ _____ + \$50.00 (BASE FEE) = \$ _____	DATE PAID _____	RECEIPT# _____	
FAILURE TO OBTAIN PERMIT WILL RESULT IN THE TOTAL FEES DOUBLING TEMPORARY SIGN EXPIRATION DATE: _____			
PERMIT APPROVED/DENIED BY: _____ DATE: _____			

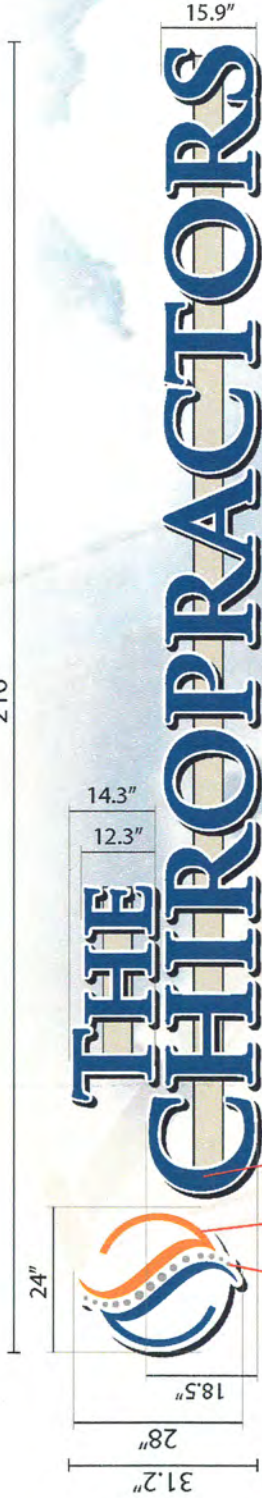
File The Chiropractors
 Location Waukesha
 Client Christopher Rebbholz
 Sales rep Dave Salkin
 Date cb 09/08/20
 Revision cb 09/22/20, cb 09/24/20

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SPECIFICATIONS

FABRICATE AND INSTALL (1SET) INTERNALLY ILLUMINATED, RACEWAY MOUNTED CHANNEL LETTERS.

- FACES TO BE #7328 WHITE ACRYLIC; DECORATED WITH TRANSLUCENT VINYL OVERLAYS AS SPECIFIED ABOVE
- RETURNS TO BE .050X3" AND BACKS TO BE .063 ALUMINUM
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- RACEWAYS TO BE PAINTED TBD TO MATCH FACADE



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Scale: 1/2" = 1'

STAFF REPORT

To: Village of Pewaukee Plan Commission

By: Mary Censky

Date Prepared: August 8, 2019

General Information:

Agenda Item: **6.d.**

Applicant:

690 Westfield Way LLC and William Patch in c/o Safet Sarich of the Kenmore Group.

Status of Applicant:

Property Manager

Requested Action:

To amend the Master Sign Plan for this multi-tenant Lake Country Market development to remove the unique size, quantity, design, and similar requirements in favor of applying the Village's regular Sign Code standards to the development.

Existing Zoning:

B-1 Community Business

Requested Zoning:

Same

Surrounding Current Land Use:

North: R-M Multi-Family Residential
South: B-1 Community Business
East: B-1 Community Business
West: B-3 Office and Service Business

Master Plan Classification:

Community Commercial

Lot Size/Project Area:

4.46 acres

Location:

690 Westfield Way

Summary:

The applicant requests Planning Commission approval to remove the specific terms of a master sign plan that was approved by the Planning Commission for this site back in April, 1999. Instead, the applicant requests to be placed on the same playing field as most other commercial development in this area along Capitol Drive which is to limit their signage by the terms of the Village's Chapter 70 Sign Code.

The applicant represents that tenants have become much more brand specific in their sign request, wishing to include unique logos and color schemes for instance where the master plan does not permit this. The applicant indicates that they still intend to have a number of private restrictions on the signs at this center which would be enforced by the ownership and

management, but simply want to enhance the ability of tenants to a bit more creative and individualized in their signs.

Recommendation:

The Planner raises no particular objection to the applicants request as presented.

**VILLAGE OF PEWAUKEE
PLAN COMMISSION MINUTES
August 8, 2019**

1. Call to Order, Pledge of Allegiance, Moment of Silence and Roll Call

President Knutson called the meeting to order at approximately 7:01 p.m. The Pledge of Allegiance was recited and a moment of silence followed.

Roll Call was taken with the following Plan Commission members present: Trustee Craig Roberts, Comm. Cheryl Mantz, Comm. Joe Zompa, Comm. Jim Grabowski, Comm. Eric Rogers, Comm. Ryan Lange and President Jeff Knutson.

Also Present: Mary Censky, Village Planner; Tim Barbeau, Village Engineer; Tom Schmitzer, Village Attorney; Scott Gosse, Village Administrator; Jackie Schuh, Deputy Clerk-Treasurer.

2. PUBLIC HEARING –

- a. **On the Conditional Use Grant request to raze/replace an existing, legal nonconforming, single-family dwelling with a new single-family dwelling that will have a setback from the Park Avenue right-of-way that is equal to the existing dwelling setback but not compliant with the Code requirement (ref Section 40.209(a)) of 35 feet. The property address is 494 Park Avenue. The property owner/applicant is Chuck Beyer. The property is Zoned R-5 Single-Family Residential District.**

None.

- b. **On the Conditional Use Grant to conduct a temporary, outdoor event on Monday–Thursday, October 7–10, 2019 from approximately 6am-10pm daily in the parking lot area of the property at 111 Prospect Avenue. Applicant/property owner is Wisconsin Shirdi Sai in c/o Satya Karri. The property is Zoned IPS Institutional and Public Service District.**

None.

3. Citizen Comments

Lily Levenhagen @ 760 Glacier Rd – Ms. Levenhagen made a presentation on chickens and why they should be allowed in the Village of Pewaukee.

Tom Calder @ 504 High St – Mr. Calder wants the Commission to say no to Capri re-zoning, yes to owner-occupied single-family homes, protect the cemetery and to listen to the citizens.

Kathy Matrise @ 1150 E Wisconsin Ave – Ms. Matrise believes the Capri development is too dense for the proposed property, will bring property values down, increase traffic, raise drainage and sewage issues and alienate members of Queen of Apostles. She believes that granting of a demolition permit before building plans are approved is premature. Document regarding her statements submitted by Matrise and on file at the Village Hall.

Kathy Losiniecki @ 227 Main St – Ms. Losiniecki gave the history of the St. Mary's/Queen of Apostles' property and what she believes were the intentions of the man who deeded it to St. Mary's.

Paul Evert @ 327 Lookout Dr – Mr. Evert stated that the citizens are telling the Commission what they want and thinks the St. Mary issue is carrying on too long. He also stated that a boater from the community dragged weeds from the lake and left them in the street for DPW to clean up.

Theresa Hoff @ 1276 Timber Ridge – Ms. Hoff believes that Pewaukee citizens have spoken with signatures on the petition and that a retro-active Historical Ordinance is needed to preserve the St. Mary's property.

Sandy Moncada @ W276N2177 Spring Creek Dr – City of Pewaukee – Ms. Moncada cited that 43% of the housing stock is apartments and condos in the Village, which is more than other areas, and she believes St. Mary's is the only place left with serenity and peace. She urged the Commission to visit the property and spend time there.

Frank Bunek @ 207 Westfield Way – Mr. Bunek is not worried about the church but the large development. He feels the monthly rent is much more than most people can afford.

Laurie Harrigan @ 508 Lookout Dr – Ms. Harrigan spoke in favor of allowing chickens in the village.

Kathleen King @ 725 Glacier Rd – Ms. King believes the Capri development is unnecessary and she is there to protest its demolition. She would like the Village of Pewaukee to honor those who built the church.

Jill Kosanke @ 2575 Hillview Dr in New Berlin – She is representing her mother at 527 W Wisconsin Ave. She and her siblings attended St. Mary's and has family buried in the cemetery. She is against the development and believes that the traffic will be an issue.

Tim Freitag @ W271N188 Paces Dr in the City of Pewaukee – Mr. Freitag is in favor of chickens. He was a boy scout leader for years and they considered St. Mary's their home. They have put flags on the graves. He warns that projects never come in at budget and are usually 60% more than what is stated. He asked if it is worth destroying something so beautiful for money?

4. Approval of the Minutes:

- a. Regular Plan Commission Meeting – July 11, 2019.

Trustee Roberts moved, seconded by Comm. Rogers to approve the July 11, 2019 minutes of the regular Plan Commission meeting.

Motion carried 6-0-1. Comm. Grabowski abstained.

5. Old Business

- a. **Review, discussion and possible recommendation to the Village Board of proposed draft Ordinance changes related to Wireless Facilities in the Village – such proposed changes being precipitated by the recent FCC 2018 Small Cell Order.**

Planner Censky spoke regarding 5G wireless, the draft ordinance and the revisions made on the recommendation of the Plan Commission from the July 11, 2019 meeting.

Discussion among Plan Commission members followed regarding the application form and fees;

Comm. Mantz moved, seconded by Comm. Lange to advance the information to the Village Board for consideration/action including the following modifications of Planner Censky:

1. **Notification requirements**
2. **Preferred hierarchy – ruling out B-5 before moving to alternate and so on; burden on applicant to prove technically infeasible for them to be in the disputed district;**
3. **Restoration of ROW once equipment is removed**
 - a) **Immediately safe and accessible condition – no holes, etc.**
 - b) **30 days to permanently restore to prior condition, according to Village specifications**
 - c) **Applicant will be billed for any work that must be performed by our DPW to restore, Village Administrator may give extension on the 30-day requirement, if deemed necessary, although there is a deadline for the applicant to make that request of extension**
4. **Fees**
 - a) **Application Fee**
 - b) **Safe Harbor Fee - FCC established fee based on cost of reviewing application**

- c) 2% Escalator – part of unique, individual agreement with applicants to place their equipment on Village property, in addition to Safe Harbor Fee
- d) Right to adjust fee based on FCC changes
- 5. Set-back limits will be equal to the height of the large towers in residentially zoned areas in the case of new or modified equipment
- 6. Aesthetic screening – disguising poles as trees or such
- 7. Village may charge for each antenna on a structure, not just the structure itself;

Motion carried 7-0.

6. New Business

- f. (Item f was moved up on the agenda.) Review, discussion and possible recommendation to the Village Board regarding Zoning Code language changes proposed in order to permit, through conditional use, the keeping of chickens on single-family residentially zoned properties in the Village.

Planner Censky stated that information was collected and language presented on September 10, 2015 in regards to the keeping of chickens in the Village. While the Planning Commission had recommended it, the Village Board ultimately voted against adopting this ordinance in December of 2015. Discussion followed regarding why it was not adopted, the lot size requirements, homeowner associations and public notifications.

Comm. Zompa moved, seconded by Comm. Rogers to advance to the Ordinance to allow keeping of chickens to the Village Board with the recommendation of .25-acre lot restriction and staff review/consideration as to possibly adding some of the elements of the language from the Milwaukee County Ordinance (78-6.5 Keeping of Chickens in the City) into our Ordinance before it goes on to the Board.

Motion carried 7-0.

- a. Review and Possible Action on the Conditional Use Grant request to raze/replace an existing, legal nonconforming, single-family dwelling with a new single-family dwelling that will have a setback from the Park Avenue right-of-way that is equal to the existing dwelling setback but not compliant with the Code requirement (ref Section 40.209(a)) of 35 feet. The property address is 494 Park Avenue. The property owner/applicant is Chuck Beyer. The property is Zoned R-5 Single-Family Residential District.

President Knutson inquired whether information regarding the conditional use grant was obtained as requested at the last meeting. Administrator Gosse stated that the previously approved detached garage offset/setback reduction CUG was not on the agenda and it could not be required to be nullified as a condition of this/tonight's request. President Knutson requested this item be tabled until further information he is seeking can be obtained.

Comm. Roberts moved, seconded by Comm. Mantz to table item 6a in relation to the CUG for 494 Park Avenue.

Roll call vote. Motion carried 6-1 with Comm. Grabowski voting no.

- b. Review and Possible Action on the Conditional Use Grant request to conduct a temporary, outdoor event on Monday–Thursday, October 7–10, 2019 from approximately 6am-10pm daily in the parking lot area of the property at 111 Prospect Avenue. Applicant/property owner is Wisconsin Shirdi Sai in c/o Satya Karri. The property is Zoned IPS Institutional and Public Service District.

Based on feedback at the July 11, 2019 meeting regarding the special event to be held October 7-10, 2019 at 111 Prospect Avenue, Planner Censky presented the *DRAFT* Conditional Use Grant and related Land Covenant.

Comm. Mantz moved, seconded by Comm. Zompa to approve with the recommendations of Planner Censky.

Motion carried 7-0.

- c. **Review, discussion and possible action on the Building/Site/Operating Plan Amendment request of the City of Pewaukee Fire Department (in c/o David Raschka of Thrive Architects) to construct a 4,368 square foot detached accessory storage/parking garage structure at the site of Fire Station #2 located at 125 College Avenue. The applicant holds a lease with property owner WCTI. The property is zoned IPS Institutional and Public Service District.**

Planner Censky explained that the proposed accessory building would be single-story, of similar brick, colors and look of existing building. New changes (after writing of the Staff Report) to the proposal include door color, windows on the doors, bollards, and siding color. Revised plans reflecting these changes have been provided. Although some existing parking will be removed to build the new building, the vehicles and equipment currently in those stalls will be housed inside the building. Village Engineer Barbeau described the drainage of the property and possible changes to the pond for water retention, as well as the back wall acting as a retaining wall for soil movement.

Comm. Grabowski moved, seconded by Comm. Zompa to approve with the following recommendations of Planner Censky and Engineer Barbeau:

- 1) **Village Engineer review and approval of all grading, drainage, erosion control, utility, stormwater management and similar plans prior to issuance of any building, grading, electrical,... permits attendant to this project;**
- 2) **Applicant to secure all necessary building, grading, electrical,... permits prior to the start of any construction or building activity attendant to this project;**
- 3) **Landscape tree plantings shall be not less than 2" caliper at chest height at planting.**
- 4) **All final engineering shall be subject to submission and approval of a storm water management report and potential modifications to the pond and staff approval thereof.**

Motion carried 7-0.

- d. **Review, discussion and possible action on the request of property owner 690 Westfield Way LLC and William A. Patch (in c/o Saf Sarich of The Kenmore Group LLC as Property Manager) to amend the Master Sign Plan for the multi-tenant Lake Country Market development, 690 Westfield Way, to remove the unique size, quantity, design, and similar requirements in favor of applying the Village's regular Sign Code standards to the development. The property is Zoned B-1 Community Business.**

Planner Censky described the current ordinance regarding signage in the Village. She stated that the applicant's tenants are requesting to include more colorful and unique logos on their signage to enhance individual branding, while still adhering to other aspects of the Code. Discussion followed regarding other signage in the Village.

Comm. Grabowski moved, seconded by Comm. Lange to approve removing the Master Sign Plan for Lake Country Market located at 690 Westfield Way in favor of subjecting them simply to the Village

Sign Code as written.

Motion carried 7-0.

- e. **Review, discussion and possible recommendation to the Village Board regarding adoption of a new and complete Historic Preservation Ordinance as Article XIV of the Village's Land Development (i.e. zoning) Code in place of the existing, and rather limited, Section 40.436(d) pertaining to "Properties of historical significance".**

Administrator Gosse spoke regarding definitions, processes and requirements for a property to be considered for historical preservation and/or designation, establishing a commission, as well as appeal processes and notification of the public. Discussion followed regarding whether properties could be designated retroactively to which Attorney Schmitzer stated he would defer to Attorney Blum, but he believes it cannot be retroactive. Administrator Gosse spoke of the steps necessary for this ordinance to become part of the Village Code and he confirmed that the very earliest it would go to the Village Board would be the first meeting in September. Trustee Roberts had issues with the subjective nature of the ordinance, that there are no checks and balances and that the board is only involved if there is an appeal. Discussion followed regarding whether the newly established commission would have final designation powers or the Village Board. Administrator Gosse suggested language reflecting that the Historical Preservation Commission be the recommending body and the Village Board being the deciding body.

Comm. Grabowski moved, seconded by Comm. Mantz to send the ordinance back to the Village Board with the following recommendation:

- 1) That Historical Preservation designation come as a recommendation of the commission pending Village Board approval;**

Motion carried 7-0.

7. Citizen Comments

Chuck Beyer @ 494 Park Ave – Mr. Beyer spoke regarding the process he followed to develop on the property. He made decisions to build based on discussions with Village Staff, but now the Commission is saying they cannot move forward with plans. He is surprised by this result as he loves the Village and wants to live here.

Kathryn Sobotke @ 329 Evergreen Ln – Ms. Sobotke is concerned that the neighbor's approval is needed to have chickens but not the Capri development.

Tom Calder @ 504 High St - Mr. Calder spoke in favor of chickens in the Village. He also stated that the Plan Commission can say no to Capri. He wants the commission to stand up for the community and do the right thing.

Jean Beyer @ 494 Park Ave – Ms. Beyer wants a quick resolution to the issue with building their home. She wants to know when they will have an answer on this.

Amy Butterfield @ 817 Quinlan Dr – Ms. Butterfield recited the Village Mission Statement from the website. She spoke of the history contained in the St. Mary's building and she is worried that a demolition could be delayed for historical preservation has a chance.

Kathy Losiniecki @ 227 Main St – Ms. Losiniecki spoke about having given information and phone numbers regarding the historical preservation long ago. She stated that a presentation is being given at the Village Board meeting.

Theresa Hoff @ 1276 Timber Ridge – Ms. Hoff wants the commission to stand up and protect the citizens, our environment and our community. She stated that their group will proceed with legal action, if necessary.

Paul Evert @ 327 Lookout Dr – Mr. Evert wants a meeting set up with Queen of Apostles and come up with an agreement and get this thing solved.

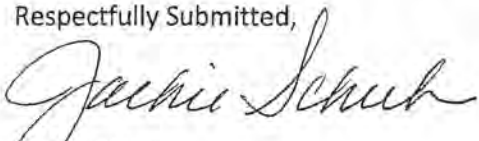
8. Adjournment

Comm. Mantz moved, seconded by Comm. Zompa to adjourn.

Motion carried 7-0.

Meeting adjourned at approximately 9:21 p.m.

Respectfully Submitted,

A handwritten signature in cursive script that reads "Jackie Schuh".

Jackie Schuh
Deputy Clerk-Treasurer

STAFF REPORT

To: Village of Pewaukee Plan Commission

By: Mary Censky

Date Prepared: November 12, 2020

General Information:

Agenda Item: **6.e.**

Applicant:

Beachside Boat & Bait (Beachside Marine)

Status of Applicant:

Applicant w/ written consent of property owner MAM Properties LLC

Requested Action:

Conditional Use Grant approval to remove and replace the existing boat, RV and boating related accessories sales, service and storage use of the building/site located at 1151 Hickory St. with a phased, new development, including 3 new buildings and reconfigured site usage dedicated to those same uses.

Existing Zoning:

B-5 Light Industrial District

Surrounding Zoning/Land Use:

North: Railroad tracks

South: B-5 Light Industrial District

East: B-5 Light Industrial District

West: B-5 Light Industrial District

Existing Master Plan Classification:

Industrial-Business Park

Lot Size:

Proposed = 4.904 acres

Location:

1151 Hickory St. and the vacant lot immediately north/adjacent thereto.

Discussion:

The B-5 Zoning District lists the following under Conditional Uses: *"In recognition that Pewaukee is a lake community, boat and boat accessory sales, service, repair and storage shall be a conditional use. To the extent such uses may share a common client base, technical service staff, sales staff, etc., and to compensate for possible seasonal fluctuations in the boat business, the planning commission may, at it's discretion and upon a finding of the interrelated and interdependent nature of the business uses, permit the incidental accessory conditional use of recreational vehicle sales and service subordinate to the primary and approved boat sales/service conditional use. The limited scope of such accessory conditional RV use shall be clearly defined within the conditional use grant document. Nothing in this section shall be construed as permitting recreational vehicle sales or service as an independent conditional use."* **and** *"Accessory retail sales of goods directly related to or produced in the conduct of the approved principal use on the premises. Such accessory retail sales use shall be situated within the approved principal and/or accessory structures on the premises."*

The applicant proposes to essentially clear this site and construct three new buildings intended for the uses listed above (see Requested Action).

The proposed total floor area of the buildings is ~67,300 square feet. This results in a Floor Area Ratio of ~31.5% where the maximum specified by Code is 30%.

The setback of Building #3 is shown at 20.5 feet from Forest Grove Dr. where 50 feet is required.

The proposed Greenspace is ~28% where 35% is required by Code.

All three buildings are metal finish (roofs and siding). Building #1 includes a 4 foot tall masonry/stone wainscoat along the south side facing Hickory Street and wrapping 60 up along both the east and west elevations. Section 40.447(3) of the Village Code provides as follows with respect to Architectural Standards and Requirements: *Materials. New retail and office building construction shall consist of quality materials such as brick, wood, stone and glass. New industrial building construction may also use decorative concrete block in addition to the above listed materials. The plan commission may, however, allow the use of metal building components, exterior finish insulation systems, and concrete block if incidental to the primary building architecture, screened from public view, or if used to reflect existing building architecture.*

A 6 foot tall, opaque security fence is proposed (see site plan for layout). This fence encroaches at certain points into the required 50 setback area of Forest Grove Drive. It could be permitted to within five feet of the street right-of-way provided the side facing the street line is "attractively landscaped". The proposed fence also sits on the west lot line where a 20 offset is required unless the applicant secures "the written consent of the adjoining property owner".

Along both Hickory Street and Forest Grove Drive, the plan does not comply with the requirement of maintaining a 25 foot setback for the parking and drive areas. Also, the entry drive(s) along Hickory Street are not specifically defined rather it appears to be open and paved along the entire frontage. The required 25 foot parking/drive setback area along Hickory Street is required by Code to be landscaped in order to screen the parking area.

A dumpster enclosure location is proposed in a very conspicuous area of the site and within the required 50 foot setback area of Forest Grove Drive. No landscape screening plan is offered.

An overall landscaping plan has not been proposed at this time which could have substantial bearing on the overall visual result of an all-metal project design with overhead doors,... in a corner location such as this. If the overall greenspace is ultimately approved at less than 35% of the site, it is recommended that, in addition to plantings required for screening,... the required quantity of plantings (i.e. 1 tree+2 shrubs/1000 sq.ft. of greenspace) be based upon a 35% of site figure.

An exterior lighting plan has not been proposed at this time.

For the sake of information, a sign face image is provided which suggests compliance with the area requirement for a freestanding sign in the B-5 District. A full Sign Plan Application will need to be submitted for administrative review and consideration as a separate matter from this Conditional Use Grant request.

A phasing plan is provided which confirms, among other things, that the existing building will be removed prior to the start of construction on any new buildings.

Section Sec. 40.153 of the Code provides as follows with respect to conditional uses: *Modification of regulations: Zoning regulations and standards established in this chapter may be modified or waived by the planning commission in their application to a permitted conditional use if in the commission's opinion such regulations and standards*

are not appropriate or necessary to the proper regulation of such use, and where such modification or waiver would not, in the commission's opinion, result in adverse effect upon the surrounding properties. If no modification or waiver is granted, the proposed use shall conform to the building location, floor area ratio, parking, landscaping, lot width, setback, offset, height, building size, lot size and open space regulations of the district in which it is located.

Recommendation:

The Planner recommends tabling this request pending receipt of revised plans which address the several issues of noncompliance with the Code standards as described above, such revised plans to be reviewed and considered by the Planning Commission at a subsequent meeting.

STAFF REPORT

To: Village of Pewaukee Plan Commission

By: Mary Censky

Date Prepared: November 12, 2020

General Information:

Agenda Item: **6.f.**

Applicant:

Beachside Boat & Bait (Beachside Marine)

Status of Applicant:

Applicant w/ written consent of property owner MAM Properties LLC

Requested Action:

Recommendation to the Village Board for Certified Survey Map approval to combine two adjoining parcels.

Existing Zoning:

B-5 Light Industrial District

Surrounding Zoning/Land Use:

North: Railroad tracks

South: B-5 Light Industrial District

East: B-5 Light Industrial District

West: B-5 Light Industrial District

Existing Master Plan Classification:

Industrial-Business Park

Lot Size:

Currently = 2 acres at 1151 Hickory Street,
and
2.86 acres at the vacant lot north/adjacent thereto

Proposed = 4.904 acres

Location:

1151 Hickory St. and the vacant lot immediately north/adjacent thereto.

Discussion:

The proposed new lot in the CSM is compliant as to minimum required lot area and width in the B-5 Light Industrial District (i.e. 1 acre and 100 feet respectively). The proposed lot combination does not create or exacerbate any setback or offset deficiencies as to such things as the existing buildings, existing parking/drive areas,...

Recommendation:

If the Commission is inclined toward recommending approval of this request to the Village Board as submitted and further described above, the Planner would recommend that the following conditions be considered for attachment thereto:

- 1) The street setback along Forest Grove Drive must be revised to reflect the current Code requirement of 50 feet;
- 2) Village Engineer review and approval of the CSM as to technical accuracy and closure in the legal description.

Village of Pewaukee Plan Commission
Engineer's Report for November 12, 2020

MAM Properties/Beachside Boats
Certified Survey Map
1151 Hickory Street

Report

The submitted certified Survey Map (CSM) combines two existing properties owned by MAM into one property. The wetlands were delineated by an assured wetland delineator and are shown on the CSM. The CSM is acceptable with the following technical corrections to be made to the CSM:

- The 20-foot setback shown along Forest Grove drive needs to be 50 feet.
- Label the ¼ section, town and range under the location map.
- Name of person authorized to sign the document should appear under the owner's signature line in the owner's certificate.

Recommendation

I recommend approval of the CSM subject to addressing the technical issues stated above.

Tim Barbeau, Village Consulting Engineer
November 3, 2020

Village of Pewaukee Plan Commission
Engineer's Report for November 12, 2020

MAM Properties/Beachside Boats
Site Development Plan
1151 Hickory Street

Report

The applicant is planning to combine two properties into one property and construct up to three buildings for boat storage and service, along with a small office within building 1. I note that Building 3 currently is shown to have a 20 foot offset along the Forest Grove frontage. In accordance with Planner Censky's review, that setback has to be 50 feet.

Access

Access to this site will be via Hickory Street. Presently, the driveway opening is about 135 feet. The driveway opening should be substantially narrowed in order to provide a safer ingress and egress operation to Hickory Street.

Sanitary Sewer and Water

Sewer and water are available to the site and is adequate to serve the proposed office portion of Building 1. No other buildings show a need for sewer or water connections. We have requested that the sewer and water lateral be shown on the site plan.

Site Grading

The southerly 2/3rds of the site falls north to south from elevation 856 to 851. The northerly 1/3 of the site falls from elevation 856 to elevation 853 along the north property line. The adjacent railroad to the north is at elevation 860. The proposed grade for building 1 is 852.5 and buildings 2 and 3 to be at 854.5. A large portion of the hard surfaces being created will be directed to a stormwater infiltration basin located east of building 1. Some runoff is not being directed to the pond but rather is directed to existing roadside ditches. The grading plan does not result in water being directed to an adjacent property.

Stormwater Management

A portion of the land can be considered redevelopment, meaning that they only need to meet 40% total suspended solids removal. The northerly portion will be considered new development and must meet 80% total suspended solids removals. Most of the land will be converted to rooftops and asphalt surface. A stormwater infiltration basin is being proposed for the development that will capture most, but not all of the stormwater runoff. There are numerous inconsistencies in the stormwater management plan at this time and we have provided comments to the design engineer for consideration.

Recommendation

I recommend approval of the proposed development subject to staff satisfaction of the following items:

- Access – driveway opening should be narrowed to a normal commercial drive width.
- Sanitary sewer and water service laterals should be shown on the site plan.

- Site Grading – Buildings are at reasonable heights for the proposed site; Swale grades are required for the swale along the west property line.
- Show the 50 foot setback from the Forest Grove Road right-of-way and adjust building locations accordingly.
- Eliminate the stormwater outfall that encroaches into the Village right-of-way
- Stormwater – Stormwater management plan requires modification to address all technical comments and concerns.

Tim Barbeau, Village Consulting Engineer
November 3, 2020

Proposed sign would be at southeast planting bed consisting of two 4'x8' signs with lighting on them.

Customer: Beachside
Colors: As Shown
Substrate: ACM
Size: 95" x 44.5"
Quantity: 1

Notes:



© Copyright 2020 Modern Ink Signs & Graphics

One round of revisions is included in your order, any additional revisions will be billed accordingly.



MODERNINK
SIGNS & GRAPHICS
262.548.0055
MODERNINKSIGNS.COM

- APPROVED
- APPROVED W/ CHANGES
- SEND NEW PROOF

The customer is responsible for the verification of the accuracy of the attached proof. Please specify any pantone colors, fonts, or sizes, not listed above. By signing this form or replying electronically you are authorizing Modern Ink to proceed with the production of your order.

SIGNATURE _____

DATE _____

This original design and all information contained therein is the property of Modern Ink Signs & Graphics and its use in anyway other than as authorized is expressly forbidden. Artwork remains the property of Modern Ink Signs & Graphics.



PROFESSIONAL SERVICES REIMBURSEMENT NOTICE

Pursuant to the Village of Pewaukee Code of Ordinances, the Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village. Also, be advised that pursuant to the Village of Pewaukee Code of Ordinances, certain other fees, costs, and charges are the responsibility of the property owner or responsible party.

I, the undersigned, have been advised that, pursuant to the Village of Pewaukee Code of Ordinances, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred by the Village. In addition, I have been advised that pursuant to the Village of Pewaukee Code of Ordinances, certain other fees, costs, and charges are my responsibility.

The Village will place fees from unpaid invoices on the real estate tax bill of the property that corresponds to the incurred services.

RESPONSIBLE PARTY & MAILING ADDRESS

Beachside Boat & Bait

Name of Company and/or Individual

129 Park Avenue

Street

Pewaukee WI 53072

City

State

Zip

Phone: 262-424-8601 Fax: _____

E-Mail: beachsidewi@gmail.com

Marionette Aurdanem 10/19/20

Signature of Applicant & Date
10/19/2020

A. Aurdanem
Signature of Property Owner & Date

Village Official Accepting Form & Date

**SEND ALL PROFESSIONAL
SERVICES INVOICES TO:
(Check One)**

Property Owner

Applicant



**Conditional Use Grant
Application Form**

Address/Parcel No. of Property Involved: 1151 Hickory Street

Zoning of Property: B-5

Current Owner of Property: MAM Properties, LLC

Applicant - Name: Beachside Boat & Boat (Beachside Marine)

Address: 129 Park Avenue, Pewaukee, WI 53072

Phone: 262-645-2628 / 262-424-8601

Fax: _____

Email: beachsidewia@gmail.com

Nature of Request (If Requesting Approval for a New Business, Please Attach a Business Summary):

Boat Marine Storage, sales, and service.

Consisting of storing boats and recreational vehicles.

Sales of boats, trailers, and accessories.

Detailing and servicing boats.

Pick-up and delivery of customers boat.

Provide detailed information with your application that addresses the following:

1. Development Plans of the proposed use in sufficient detail to enable the Commission to evaluate the suitability of architectural & landscape treatment, proper placement of the building(s) on the lot, traffic generation & circulation, provision for parking, drainage, exterior lighting, control devices (when necessary) to eliminate noise, dust, odor, smoke or other objectionable operating conditions & general compatibility of the proposed use with the area in which it is located.

Application is due 3 weeks prior to the Meeting Date.



**Village of Pewaukee – Planning Commission
Miscellaneous Approval Application Form – Return Completed Form along
with 11 copies of all materials to be reviewed.**

Address/Parcel No. of Property Involved: 1151 Hickory Street

Zoning of Property: B-5

Current Owner of Property: MAM Properties, LLC

Applicant – Name: Beachside Boat & Boat (Beachside Marine)

Address: 129 Park Avenue, Pewaukee, WI 53072

Phone: 262-685-2628 / 262-424-2001

Fax: _____

Type of Request: Check All That Apply

Sign Plan Approval:

Prelim. Plat Approval:

Final Plat Approval:

Developer's Agreement:

Certified Survey Map:

Other (Describe Below):

Signature of Property Owner as listed on this Application:

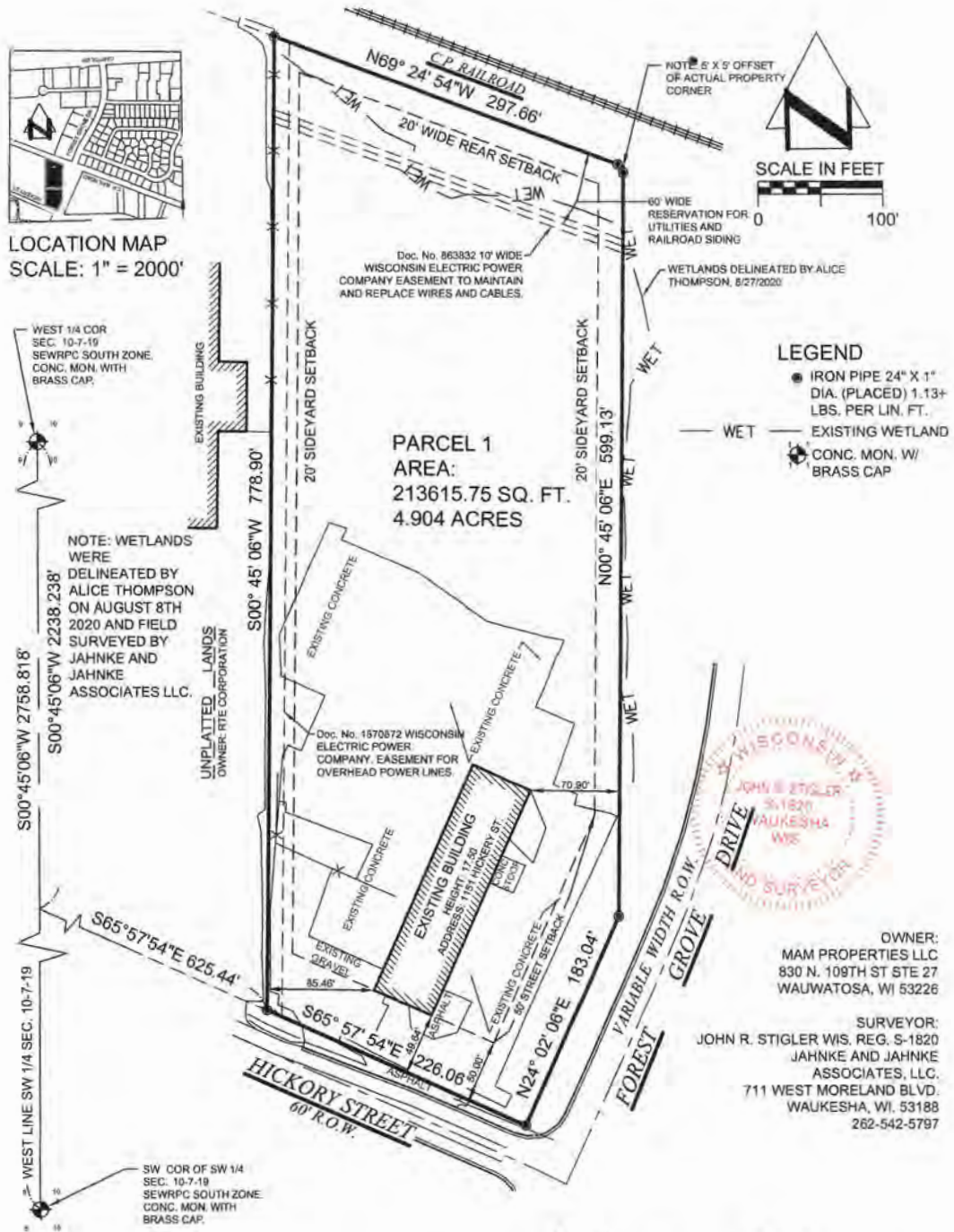
A. Smith

Application will not be processed without the Owner's Signature regardless of who is listed as the Applicant. This signature authorizes the Village of Pewaukee to process the Application as it pertains to my property and further authorizes the Village or its representatives to conduct reasonable and routine inspections of my property for the purposes of evaluating this Application.

Signature of Applicant (if different than Owner):

Marietta Heidenan

CERTIFIED SURVEY MAP NO. _____ Sheet 1 of 3
Being part of the SW 1/4 of the SW 1/4 of Section 10, Town 7 North, Range 19 East,
VILLAGE OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN



REFERENCE BEARING: THE WEST LINE OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 10, TOWN 7 NORTH, RANGE 19 EAST WAS USED AS THE REFERENCE BEARING AND HAS A BEARING OF S 00° 45' 06" W BASED ON THE WISCONSIN STATE PLANE COORDINATE SYSTEM (SOUTH ZONE)

INSTRUMENT DRAFTED BY JOHN R. STIGLER

John R. Stigler
JOHN R. STIGLER - Wis. Reg. No. S-1820
DATED this 8th DAY of OCTOBER, 2020

P.S. PEWAUKEE 3539
FILE NAME: S:\PROJECTS\20-9215\DWG\20-9215 CSM.DWG

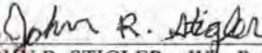

CERTIFIED SURVEY MAP NO. _____ Sheet 2 of 3
Being part of the SW ¼ of the SW ¼ of Section 10, Town 7 North, Range 19 East
VILLAGE OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE:

I, John R. Stigler, professional land surveyor, being duly sworn on oath, hereby depose and state that I have surveyed, divided and mapped the following land bounded and described as follows: All that part of the Southwest Quarter (SW ¼) of the Southwest Quarter (SW ¼) of Section 10, Town 7 North, Range 19 East, Village of Pewaukee, Waukesha County, State of Wisconsin, bounded and described as follows: Commencing at the Northwest corner of the Southwest Quarter (SW ¼) of Section 10; thence South 00°45'06" West 2238.24 feet along the West line of the Southwest Quarter (SW ¼), thence South 65°57'54" East 625.44 feet along the North right-of-way line extended of Hickory Street a 60 feet public right-of-way to the place of beginning; thence continuing South 65°57'54" East 226.06 feet to the West right-of-way line of Forest Grove Drive; thence North 24°02'06" East 183.04 feet along said West right-of-way line; thence North 00°45'06" East 599.13 feet to the South right-of-way line to the C. P. Railroad right-of-way; thence North 69°24'54" West 297.66 feet, along said South right-of-way line, thence South 00°45'06" West 778.90 feet; to the place of beginning.

Containing a net area of 213,615.75 square feet or 4.904 acres of land.


I further certify that I have made such survey, land division and map by the direction of the owners of said land; that such map is a correct representation of the exterior boundaries of the land surveyed and map thereof made; and that I fully complied with the provisions of Chapter 236 of the Wisconsin State Statutes pertaining to Certified Survey Maps (Section 236.34) and the regulations of the Village of Pewaukee in surveying, dividing and mapping the same.


JOHN R. STIGLER - Wis. Reg. No. S-1820
Dated this 8th day of October, 2020


STATE OF WISCONSIN)ss
WAUKESHA COUNTY)

The above certificate subscribed and sworn to me this 8th day of OCTOBER 2020.

My commission expires July 5, 2023.


PETER A. MUEHL - NOTARY PUBLIC



OWNER: MAM PROPERTIES, LLC

Instrument drafted by John R. Stigler

P. S. Pewaukee 3539

CERTIFIED SURVEY MAP NO. _____

Sheet 3 of 3

Being part of the SW ¼ of the SW ¼ of Section 10, Town 7 North, Range 19 East
VILLAGE OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

OWNER'S CERTIFICATE:

As owner we hereby certify that we caused the land described on this map to be surveyed, divided, dedicated and mapped as represented on this map. I also certify that this Certified Survey Map is required by 236.10 or 236.12 Wisconsin State Statutes to be submitted to the following for approval: Village of Pewaukee.

BY: MAM PROPERTIES, LLC

Member

STATE OF WISCONSIN)ss
COUNTY OF WAUKESHA)

Personally came before me this _____ day of _____, 2020, the above named MAM PROPERTIES, LLC, to me known to be the person who executed the foregoing instrument and acknowledged the same.

My commission expires _____

NOTARY PUBLIC -

PLAN COMMISSION APPROVAL:

Approved by the Plan Commission, Village of Pewaukee, this _____ day of _____, 2020.

JEFF KNUTSON – CHAIRPERSON

CASSIE SMITH – VILLAGE CLERK

VILLAGE BOARD APPROVAL:

Approved by the Village Board, Village of Pewaukee, this _____ day of _____, 2020.

JEFF KNUTSON – VILLAGE PRESIDENT

CASSIE SMITH – VILLAGE CLERK



John R. Stigler
JOHN R. STIGLER, Wis. Reg. No. S-1820
Dated this 8th day of October, 2020

OWNER: MAM PROPERTIES, LLC

Instrument drafted by John R. Stigler

P. S. Pewaukee 3539

October 20, 2020
Beachside Marine
1151 Hickory Street (Phasing Lines)

November through January -
North side of property (building 2 & 3) clean up landfill, and excavate for suitable base, install and compact base

December through February –
Remove existing concrete parking lot

February through March –
Demolition of existing building

February through March –
Foundation for building #2
Construction of building #2

April through May –
Foundation for building #1
Construction of building #1

April through May –
Storm water (pond)

May through June –
Grading for parking lot and installation of base
Partial installation of parking lot

July –
Fence installation

July through August –
Landscape plan

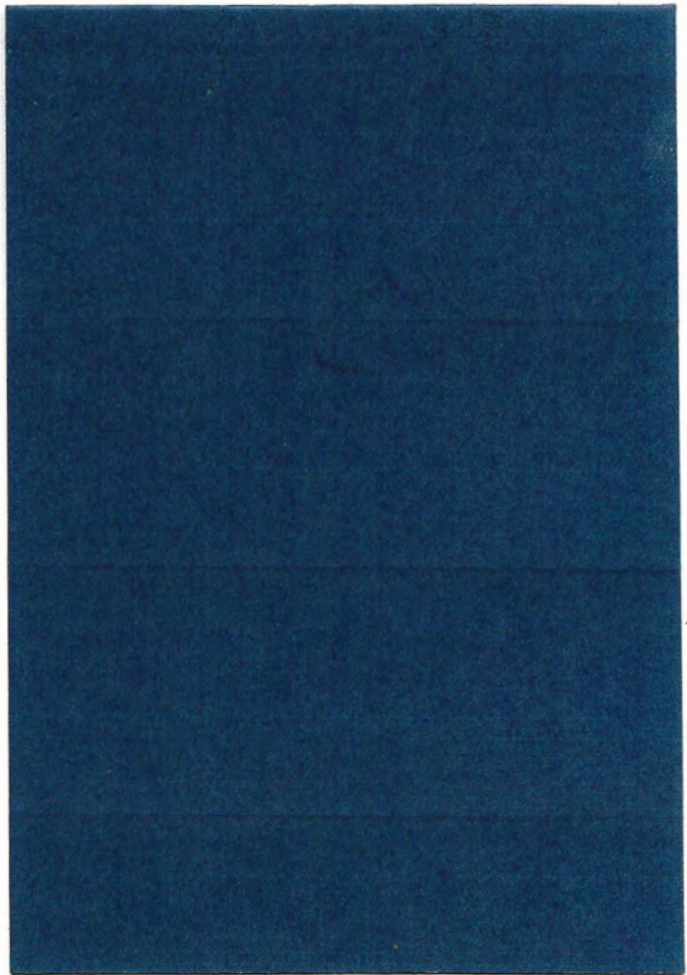
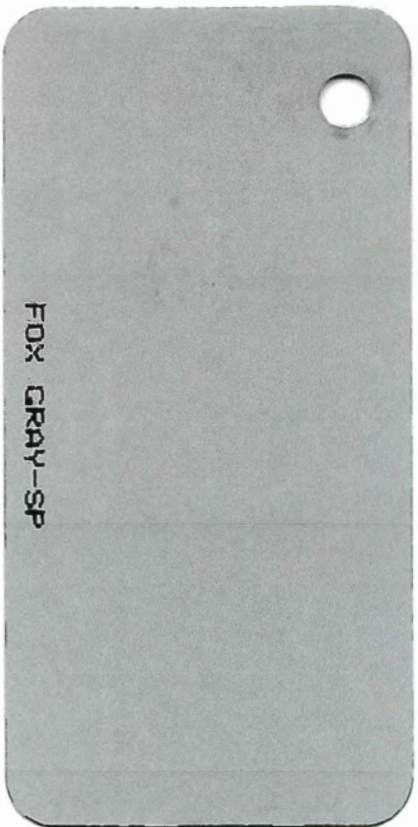
Building #3 to be constructed withing 24 months of occupancy of building #1

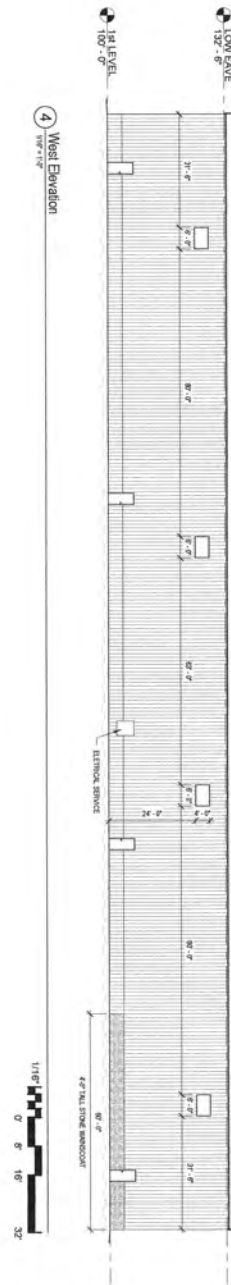
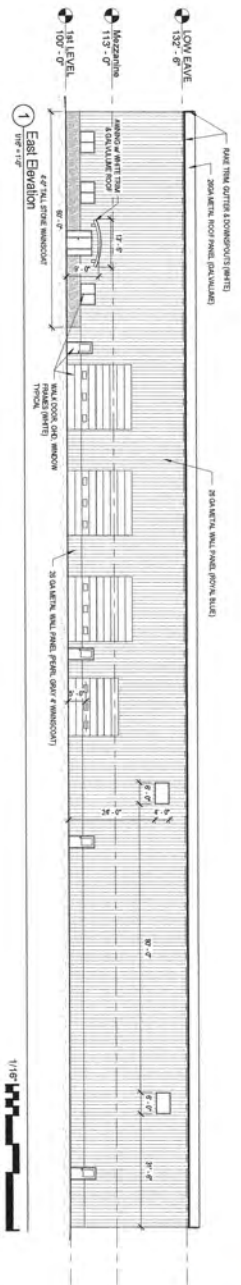
Champion BRICK



Glen Ridge San Moritz

This photo is intended to represent the general color range and texture. Due to printing limitations, color will vary from actual brick. Please make final selection from physical sample.





StrucRite
ARCHITECTURAL & ENGINEERING SERVICES
 1000 W. WISCONSIN AVENUE, SUITE 100
 MILWAUKEE, WI 53233

Boat Storage Facility

Hickory St.
Town of Pewaukee, WI

REVISIONS

NO.	DATE	DESCRIPTION

PLAN COMMISSION

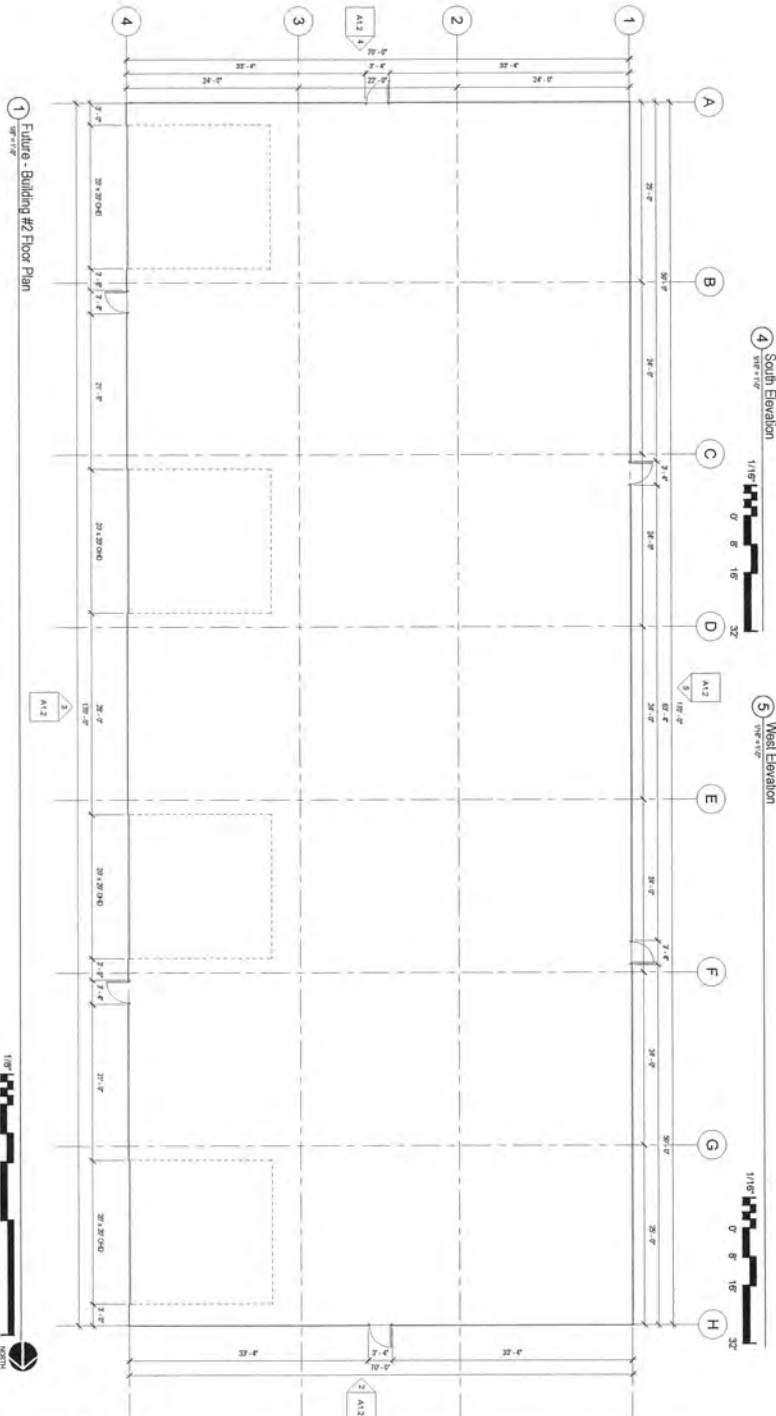
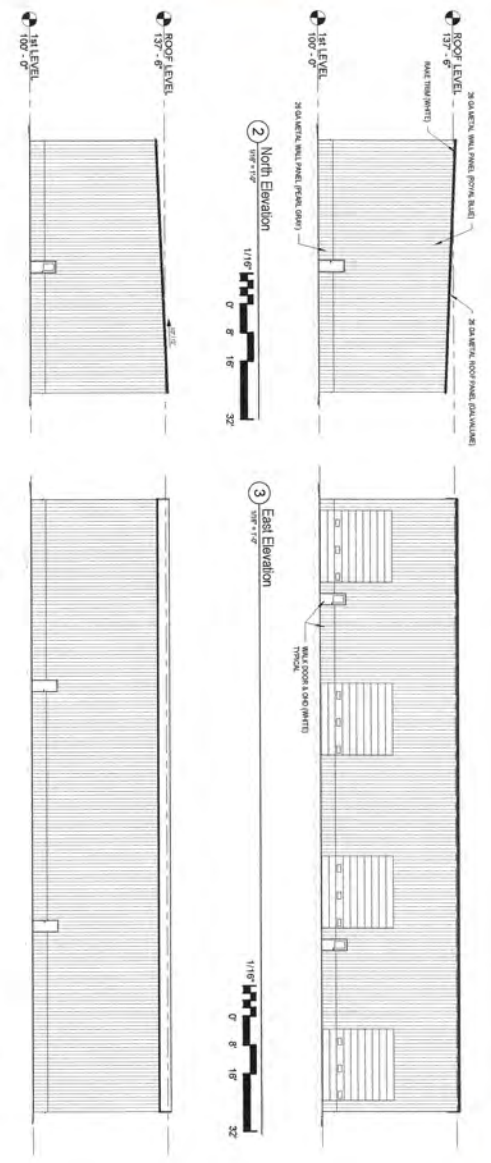
Building #1 Exterior Elevations

DATE: 10/08/2020

201729

DESIGNER: JLR

SHEET NUMBER: **A1.1b**



Boat Storage Facility

Hickory St.
Town of Pewaukee, WI

StructRite
Architectural & Engineering Services
10000 W. Wisconsin Ave., Suite 100
Pewaukee, WI 53072

NO.	DATE	DESCRIPTION

REVISIONS

NO. DATE DESCRIPTION

DATE: 10/20/2020

DRAWN BY: KS

CHECKED BY: KS

PROJECT: Future Building #2

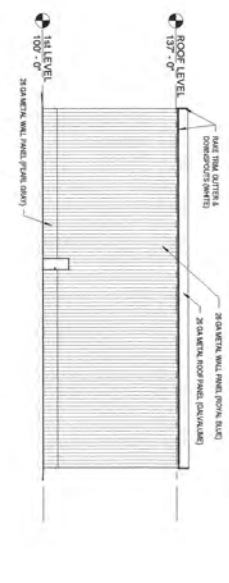
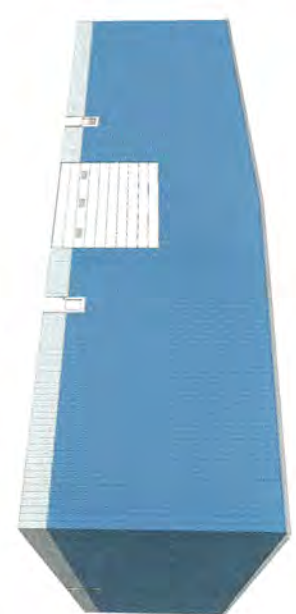
PROJECT NUMBER: 201729

PROJECT LOCATION: Hickory St., Pewaukee, WI

PROJECT OWNER: Town of Pewaukee

PROJECT ARCHITECT: StructRite

A1.2



2 North Elevation



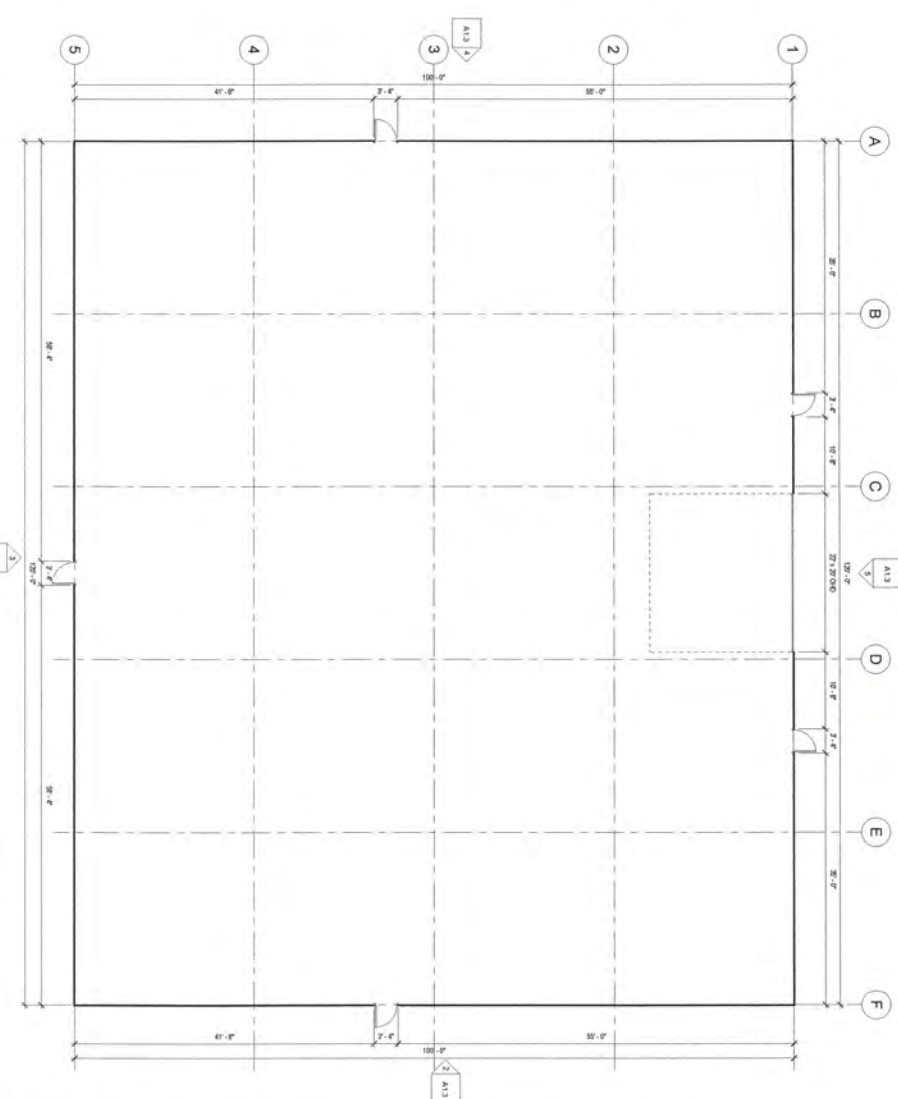
3 East Elevation



4 South Elevation



5 West Elevation



1 Future - Building #3 Floor Plan



NOTES:
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL ORDINANCES.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS.

PROJECT: Future Building #3
 DATE: 20/1/20
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SCALE: AS SHOWN
 SHEET NUMBER: A1.3

NO.	DATE	DESCRIPTION
1	10/13/2020	ISSUED FOR PERMIT

Boat Storage Facility

Hickory St.
 Town of Pewaukee, WI

StrucRite
 A STRUCTURAL ENGINEERING & CONSTRUCTION COMPANY
 10000 W. WISCONSIN AVE., SUITE 100
 WISCONSIN, WI 53190
 TEL: 262.338.8888
 WWW.STRUCRITE.COM

STAFF REPORT

To: Village of Pewaukee Plan Commission

By: Mary Censky

Date Prepared: November 12, 2020

General Information:

Agenda Item: **6.g.**

Applicant:

Beachside Boat & Bait (Beachside Marine)

Status of Applicant:

Applicant w/ written consent of property owner RTE Corporation.

Requested Action:

Consultative review, discussion and general feedback as to possible reuse of a portion of the property (site and building) for the uses 'boat and RV storage, sales and services; sales of boats, trailers and related accessories; detailing and servicing of boats; and pick-up and delivery of customers boats.

Existing Zoning:

B-5 Light Industrial District

Surrounding Zoning/Land Use:

North: Railroad tracks

South: B-5 Light Industrial District

East: B-5 Light Industrial District

West: B-5 Light Industrial District

Existing Master Plan Classification:

Industrial-Business Park

Lot Size:

10.08 acres

Location:

1045 Hickory Street.

Discussion:

The applicant seeks consultative feedback on their idea to repurpose the existing Eaton building (as Eaton will be phasing out of it's current occupancy of the entire building). The applicants tentative plans at this time call for up to ~70,000 sq.ft. of building space to be devoted to the uses listed above (see Requested Action) with the balance of the building being preserved for undetermined use(s) at this time. Their plan also calls for adding a large, fenced/landscaped area in the front of the property for outdoor storage of boats, RV's and related equipment.

Application is due three weeks prior to meeting date.



Planning Commission Consultation Application Form

Address/Parcel No. of Property Involved: 1045 Hickory Street, Pewaukee

Zoning of Property: B 5

Current Owner of Property: Eaton

Applicant - Name: Beachside Boat + Boat

Address: 129 Park Avenue, Pewaukee, WI 53072

Phone: 262-424-8601

Fax: _____

Email: beachsidewi@gmail.com

Name of Business that Consultation is for: Beachside Marine + RV

Describe Nature of Business (Restaurant, Retail, Office, etc.):

Boat + RV storage, sales, and services.

sales of boats, Trailers, and accessories.

Detailing and servicing boats.

Pick-up and delivery of customers boat.

Signature of Property Owner as listed on this Application:

_____ Owner will sign by 11/6/20.

Application will not be processed without the Owner's Signature regardless of who is listed as the Applicant. This signature authorizes the Village of Pewaukee to process the Consultation Application proposed for my property and further authorizes the Village or its representatives to conduct reasonable and routine inspections of my property for the purposes of evaluating this application.

Signature of Applicant (if different than Owner):

Mairetta Heidevan

*** For Consultation Purposes, an Engineering Review will not take place. Engineering Reviews will begin if and when an Application for Final Approval is processed.**

***Please submit eleven sets of any applicable attachments as well as a digital copy of any attachments submitted.**

November 2, 2020

Beachside Marine & RV (name has not been determined yet) would like to occupy approximately 70,000 square feet of 1045 Hickory Street. This is approximately 1/3 of the building. The remaining 2/3 would be available for manufacturing, warehouse, etc. We will be looking to bring as much employment opportunity for Pewaukee as possible. The exact part of the building we will occupy has not yet been determined.

Beachside Marine & RV would need a Conditional Use Grant for:

1. Boat/Marine - storage, sales, service, parts, and accessories.
2. Boat Lifts & Dock – sales, service, parts, and accessories.
3. Trailer sales, service, parts and accessories.
4. RV – storage, service, parts and accessories.
5. Retail sales area which would be approximately 2,000 square feet for sales of boat, trailer, and RV accessories.
6. Fenced in outdoor storage would be needed. The proposed location would be at the South east front parking lot. This would be along Hickory Street. Which would be utilizing the existing parking lot with a 50' set back from the road.

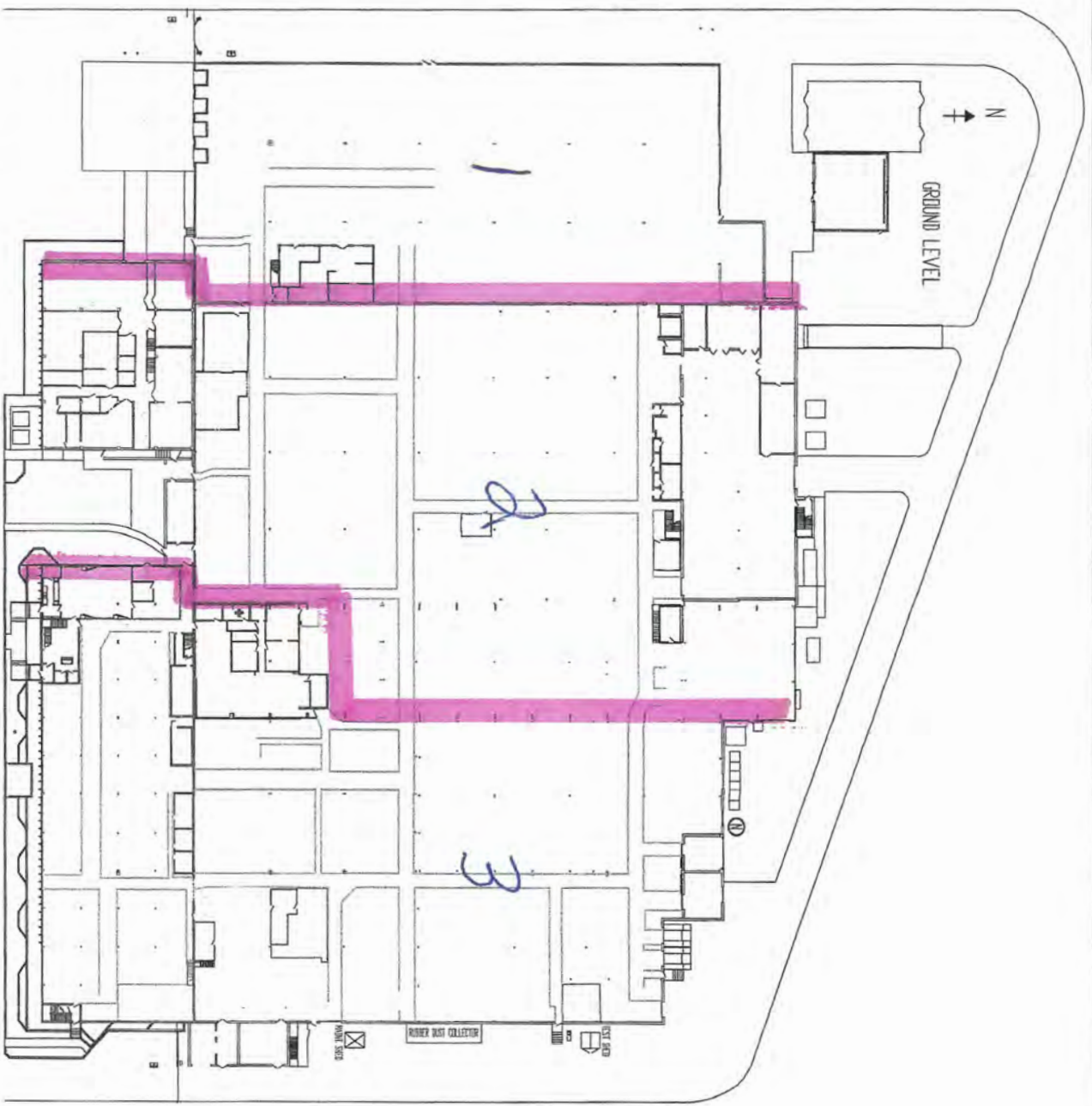
We will do all necessary landscaping along Hickory Street to make fencing blend in.

The main business will start out as a Marine & RV storage facility with indoor and outdoor storage. Anticipated occupancy would be August 2021 and would require some renovations to existing building. This would include painting, installation of additional overhead doors, installation of wash bay, service center, retail area, installation of outdoor fence and landscaping. The grand opening of business would not be until spring of 2022. We are very excited and feel this new business will serve the needs of the people who live in the lake country area. We are looking for input from the planning commission board members on the required terms that may be needed for Beachside Marine & RV to apply for the Conditional Use Grant.

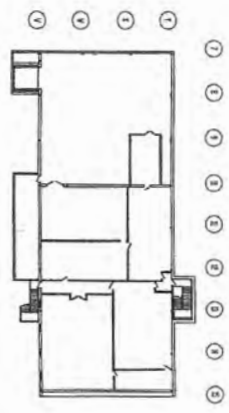
We are currently under contract with Eaton Corporation for the purchase of 1045 Hickory Street, and are looking to get the Conditional Use Grant as soon as possible as that would be the determining factor if we purchase the property or not. We look forward to talk to all board members regarding this great opportunity.

Ken Kreitlow
Marietta Herdeman

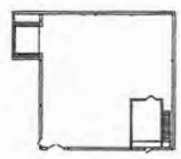
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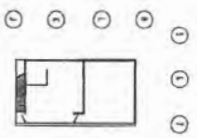
2nd LEVEL MEZZANINE



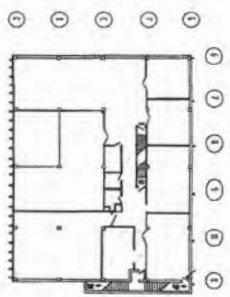
3rd LEVEL MEZZANINE



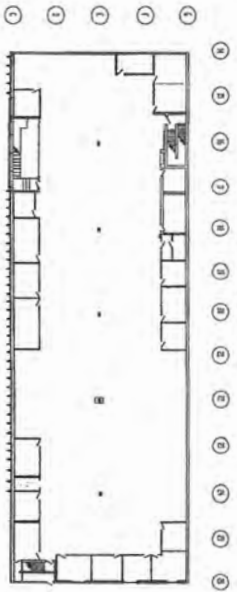
2nd LEVEL INSPECT



2nd LEVEL LINK LAB.



2nd LEVEL OFFICES



COOPER Power System
 OPERATIONS AND MAINTENANCE DIVISION - ANNAPOLIS, MD
 FLD: PUMP ROOM

SCALE:	3/16" = 1'-0"	3/32" = 1'-0"	1/8" = 1'-0"
NO.:	100	101	102
DATE:	1/1/00	1/1/00	1/1/00



