



PLAN COMMISSION AGENDA

November 13, 2025 – 6:00 pm
Village Hall
235 Hickory Street, Pewaukee, WI 53072

To view the meeting: <https://www.youtube.com/watch?v=MBCf5haiE-0>

1. Call to Order, Roll Call, Pledge of Allegiance, & Moment of Silence.

Public Hearings.

a. Conditional Use Grant request of applicant Aspen Homes, Inc, to construct a multi-family building (i.e. a duplex). A multi-family building is only permissible through the issuance of a Conditional Use Grant (Section 40.265). This request is located at 203 E. Wisconsin Avenue / PWV 0899982. This 0.316-acre parcel is zoned, B-2 Downtown Business District. The property is owned by Joanne & Dwight Zoellner and applicant is Aspen Homes, Inc – Brayden Basso.

b. Conditional Use Grant request of applicant Aspen Homes, Inc, to construct a single-family home. The proposed home requires reduced setbacks which is permissible only through the issuance of a Conditional Use Grant on a legal non-conforming lot (Section 40.210). This 0.115-acre parcel, located at 247 Park Avenue / PWV 0899214, is zoned R-5 Residential Detached District with a Lakefront Overlay. Property Owner Megan & Luke Porath and applicant is Aspen Homes, Inc – Shelly Basso.

c. Conditional Use Grant request of applicant Caven & Annette Boggess, to construct a 1250 sq. ft. attached garage and second story living space. The structure is proposed at 2.58 feet from the Kopmeier Drive setback which is permissible only through the issuance of a Conditional Use Grant on a legal non-conforming lot (Section 40.210(4)a). This 0.149-acre parcel, located at 616 Kopmeier Drive / PWV 0894044, is zoned R-5 / LO Residential Detached District Lakefront Overlay. Property Owners/Applicants are Caven & Annette Boggess.

2. Citizen Comments: *This is an opportunity for citizens to share their opinions with Commission Members on any topic they choose. However, due to Wisconsin Open Meeting laws, the Commission is not able to answer questions or respond to your comments. All comments should be directed to the Commission. Comments are limited to 3 minutes per speaker. Speakers are asked to use the podium and state their name and address.*

3. Approval of the Minutes:

a. Plan Commission Meeting – October 9, 2025

4. Old Business.

a. None

5. New Business.

- a. Review, discussion, and possible action on Conditional Use Grant request of applicant Aspen Homes, Inc, to construct a multi-family building (i.e. a duplex). A multi-family building is only permissible through the issuance of a Conditional Use Grant (Section 40.265). This request is located at 203 E. Wisconsin Avenue / PWV 0899982. This 0.316-acre parcel is zoned, B-2 Downtown Business District. The property is owned by Joanne & Dwight Zoellner and Applicant is Aspen Homes, Inc – Brayden Basso
- b. Review, discussion, and possible action on Conditional Use Grant request of applicant Aspen Homes, Inc, to construct a single-family home. The proposed home requires reduced setbacks which is permissible only through the issuance of a Conditional Use Grant on a legal non-conforming lot (Section 40.210). This 0.115-acre parcel, located at 247 Park Avenue / PWV 0899214, is zoned R-5 Residential Detached District with a Lakefront Overlay. Property Owner Megan & Luke Porath and applicant is Aspen Homes, Inc – Shelly Basso.
- c. Review, discussion, and possible action on Conditional Use Grant request of applicant Caven & Annette Boggess, to construct a 1250 sq. ft. attached garage and second story living space. The structure is proposed at 2.58 feet from the Kopmeier Drive setback which is permissible only through the issuance of a Conditional Use Grant on a legal non- conforming lot (Section 40.210(4)a). This 0.149-acre parcel, located at 616 Kopmeier Drive / PWV 0894044, is zoned R-5 Residential Detached District. Property Owners/Applicants are Caven & Annette Boggess.
- d. Review, discussion and possible recommendation to the Village Board for Planned Unit Development (PUD) Overlay District amendment for Pewaukee Self Storage to amend an existing Planned Unit Development Overlay and associated Business / Site Plan of Operation amendment. This request is located at 229 Sussex St. / PWV 0898999001. The 15.786-acre property is zoned B-5 Light Industrial District with a Planned Unit Development Overlay. The property owner / applicant is Pewaukee Self Storage LLC.
- e. Review, discussion, and possible action on Building and Site Plan Amendment request of Netties Irish Pub for adding a covered stage on the existing deck. This request is located at 733 W. Wisconsin Avenue. / PWV 0894997. The 2.629-acre property is zoned B-1 Community Business District. The property owner / applicant is Scott Schaefer.

6. Citizen Comments. – *This is an opportunity for citizens to share their opinions with Commission Members on any topic they choose. However, due to Wisconsin Open Meeting laws, the Commission is not able to answer questions or respond to your comments. All comments should be directed to the Commission. Comments are limited to 3 minutes per speaker. Speakers are asked to use the podium and state their name and address.*

7. Adjournment

Note: It is possible that members and/or possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; action will not be taken by any

governmental body at the above-stated meeting other than the governmental body specifically referred to above in the notice. Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. To request such assistance, contact the Village Clerk at 262-691-5660.

Dated: October 30, 2025

PLAN COMMISSION AGENDA
October 9, 2025 – 6:00 pm
Village Hall
235 Hickory Street, Pewaukee, WI 53072

To view the meeting: <https://www.youtube.com/watch?v=IKxxixeuzuc>

1. Call to Order, Roll Call, Pledge of Allegiance, & Moment of Silence.

President Knutson called the meeting to order at approximately 6:00 p.m.

Plan Commission members present: Comm. Mark Grabowski; Comm. Theresa Hoff; Comm. Brian Belt; Comm. Sam Liebert; Trustee Bob Rohde; and President Jeff Knutson.

Excused: Comm. Katie Jelacic.

Also present: Village Attorney, Matt Gralinski; Village Planner, Mark Lyons; Village Engineer, Jake Scholbe; Village Administrator, Matt Heiser; Director of Public Works/Village Engineer, Dave Buechl; and Deputy Clerk, Mackenzie Quigley.

2. Public Hearings -

- a. **Conditional Use Grant request of applicant Christian Brothers Automotive, to develop an automobile service use. An automobile service use is only permissible through the issuance of a Conditional Use Grant (Section 40.250(10)). This request is located immediately west of Menards and north of Jilly's Car Wash / PWV 0901984006. The proposed development would be part of this 38.72-acre, B-1 Community Business District with a Planned Unit Development Overlay and C-2 Conservancy District split zoned. The property is owned by Meadow Creek Limited Partnership and Applicant is William Bostic d/b/a Christian Brothers Automotive.**

- No Comment

3. Citizen Comments –

- No Comment

4. Approval of the Minutes -

- a. **Plan Commission Meeting – September 11, 2025**

Trustee Rohde motioned/seconded by Comm. Liebert to approve the September 11, 2025, Regular Plan Commission meeting minutes as presented.

Motion carried 6-0.

5. Old Business -

- a. None

6. New Business -

- a. **Review, discussion, and possible action on Conditional Use Grant of applicant Christian Brothers Automotive, to develop an automobile service use. An automobile service use is only permissible through the issuance of a Conditional Use Grant**

(Section 40.250(10)). This request is located immediately west of Menards and north of Jilly's Car Wash / PWV 0901984006. The proposed development would be part of this 38.72-acre, B-1 Community Business District with a Planned Unit Development Overlay and C-2 Conservancy District split zoned. The property is owned by Meadow Creek Limited Partnership and Applicant is William Bostic d/b/a Christian Brothers Automotive.

Lyons provided an overview of the proposal and noted a unique condition: the property is located within a Planned Unit Development (PUD) where automotive service uses are not permitted. As a result, the request must be brought to the Village Board for consideration and approval as well. Lyons presented visual renderings of the proposed development to the Commission. It was further noted that a Certified Survey Map (CSM) will be required, and the applicant will return to the Plan Commission for review at that time.

Lyons reported that a citizen comment had been submitted for the Commission's review, addressing concerns related to traffic, safety, and the condition of the private roadway. Noted for consideration.

Discussion was held between the Commission and Village Staff regarding the stormwater pond located on the property.

Jim Forrester @ 3190 Gateway Rd, Brookfield WI – Owner of property shared the history of the stormwater pond and the written agreement with Menards.

Village Planner Recommendations:

Conditional Use Request for an Automotive Service Use:

The Village of Pewaukee Plan Commission Approves the Conditional Use Request for an automotive service use for the property located at PWV 0901984006, subject to the following conditions:

1. Any conditions made by the Plan Commission at their meeting of October 2025.
2. Approval of the Village Board allowing an Automotive Service Use per the conditions of the 2004 Planned Unit Development Overlay.

Site Plan and Plan of Operations:

The Village of Pewaukee Plan Commission Approves the Business Site Plan / Plan of Operations for an automotive service use, subject to the following conditions:

1. That all conditions made by the Plan Commission at their meeting of October 2025 pertaining to development are met.
2. The signage plans be presented to the Village Zoning Administrator and approval by Staff prior to building occupancy.

3. As part of the Conditional Use Grant the site shall be permitted to have only 31 parking spaces.
4. Prior to final approval and issuance of any permits the applicant shall submit a Certified Survey Map for review and approval by Plan Commission.
5. This Site Plan/Plan of Operation approval is subject to the Petitioner complying at all times with the plans and documents presented to the Village of Pewaukee Plan Commission. The existing site plan/plan of operation shall remain in effect, except as further restricted or modified herein.
6. The Petitioner shall satisfy all comments, conditions, and concerns of the Village of Pewaukee Plan Commission and Board, Village Engineer and Village Planner for the site plan, and other documentation.
7. Building Inspection. The Petitioner and/or Property Owner shall comply with any and all recommendations by the Village Building Inspector (or designee) prior to the issuance of an occupancy & use permit for the subject property. Approval by the Village Building Inspector, if granted, shall be solely for the benefit of the Village of Pewaukee, and shall not be relied upon by the petitioner or others as proof of structural integrity or safety of any structure on the property, or as proof of compliance with any particular construction standard that would apply to new construction. The petitioner shall independently determine the suitability of all structures on the property for the petitioner's intended uses.
8. Fire Inspection. The Petitioner and/or Property Owner shall comply with any and all recommendations by the Village of Pewaukee Fire Department Chief (or designee) prior to the issuance of an occupancy & use permit for the subject property. Approval by the Village of Pewaukee Fire Department Chief (or designee), if granted, shall be solely for the benefit of the Village of Pewaukee, and shall not be relied upon by the petitioner or others as proof of fire safety of any structure on the property, or as proof of compliance with any particular fire safety standard that would apply to new construction. The petitioner shall independently determine the fire safety and suitability of all structures on the property for the petitioner's intended uses. Fire department approval following review to ensure any additional fire access requirements for the parking lot as proposed is required prior to building occupancy.
9. This approval is granted for the express conditions stated herein. Changes or alterations including, but not limited to, a change in use, premises, lands, or ownership of the property in question shall require a new Business Site Plan approval with all the zoning procedures at the time being followed. The allowed uses of the property must at no time be hazardous, harmful, obnoxious, offensive, or a nuisance by reasons of appearance, noise, dust, smoke, odor, or other similar factors. Any use not specifically listed, as permitted, shall be considered to be prohibited, except as may be otherwise specified herein.

10. The Property Owner shall keep the exterior condition of the premises in a neat and orderly condition at all times so the premises will not detract from neighboring premises. There shall be no outside storage of junk, debris, construction material, or other refuse materials within the property and all such materials shall be disposed of promptly and properly.
11. The Property Owner shall allow Village of Pewaukee representatives to inspect the premises following a 24-hour notice for the purpose of determining compliance with this approval.
12. The Petitioner and/or Property Owner shall obtain the appropriate permits from the Village of Pewaukee.
13. The Petitioner and/or Property Owner shall, on demand, reimburse the Village of Pewaukee for all costs and expenses of any type incurred by the Village in connection with the review and approval of this application, including, but not limited to, the cost of professional services incurred by the Village for the review and preparation of required documents, attendance at meetings or other related professional services as well as to enforce the conditions in this approval due to a violation of these conditions.

Village Engineer Recommendations:

I recommend approval of the site civil plans (C102-C501) subject to the following comments being addressed prior to final staff approval:

Civil Plans – General:

1. With the site proposal intending to utilize the existing regional stormwater pond for stormwater management, it shall be noted that due to the current condition of the regional stormwater pond as of September 25, 2025; building permits will not be issued for this site by the Village of Pewaukee until the pond is reconstructed and surveyed verifying the pond is corrected to its original design.
2. If a Wisconsin Department of Natural Resources (WDNR) Construction Site Stormwater Permit (NOI) is required, it shall be provided when it is available. Provide confirmation from the WDNR if an NOI permit is not required.
3. As noted on the Site Grading Plan, Earthwork and Grading Note #12 reverse slope (high side) curb shall be installed on the downhill side of parking lot islands to ensure positive drainage to catch basins. Consider callouts and/or showing locations of reverse slope curb segments on the plans to further clarify these locations.
4. Add notes as appropriate or show inlet protection to be provided on all proposed catch basins after installation on the plans.

ALTA – ALTA/NSPS Land Title Survey:

5. The proposed lot is 1.5 acres of a 43-acre existing lot. Will the remnant acreage be included in the proposed CSM?
6. It is presumed the wetland line is shown based on CSM 11391. The wetland note per this CSM states the wetland was delineated in November 2008. This is substantially outside the standard WDNR 5-year window. A new wetland delineation should be completed, and the wetland dimensioned.
7. The ALTA/NSPS Land Title Survey depicts a storm sewer running through the property, without the benefit of an easement. An easement should be created and maintenance rights determined.
8. There is a 5" change in bearings from CSM 11391, recorded as bearings should be added.

Sheet C102 – Demolition, Soil Erosion, and Sediment Control Plan:

9. Stone tracking pads shall be added at both access points per WDNR construction site erosion and sediment control technical standard 1057. Or provide a stone tracking pad at one site access point, showing the other access point being closed off during construction.
10. Provide silt fence along the east perimeter of the site to prevent erosion onto the adjacent property.

Sheet C201- Site Layout Plan:

11. Clarify or provide a detail for "DUB DOWN CURB".
12. The drive aisle width in the west parking lot does not meet the minimum width per the Village Code. Revise the westerly parking lot to include a minimum drive aisle width of 25 feet.

Sheet C301 – Site Grading Plan:

13. The northwest corner of the proposed access aisle for the accessible parking stalls is a lower elevation than all surrounding grades promoting a trapped water condition. Revise the grades in this area accordingly to perpetuate drainage to the proposed catch basin to the north.
14. Verify the top of pavement and top of curb grades along the west side of the westerly entrance to the site. The site grading plan shows the top of pavement at a higher elevation than the top of curb in this area.
15. Add additional spot elevations around the proposed dumpster enclosure to further detail the grades in this area. Include spot elevations in this area at the corners/boundaries between bituminous, heavy-duty concrete, and concrete sidewalk surfaces.

Sheet C401 – Site Utility Plan:

16. Label the diameter of the proposed downspouts.

17. Detail the length and slope of all proposed storm and sanitary sewer/laterals.
18. Detail the elevation and slope of the proposed underdrain along the south side of the proposed building.
19. Detail the size and invert elevations of the proposed water service.
20. Label the proposed invert elevation(s) of the sanitary lateral connection to the existing sanitary sewer east of the building. This connection should be completed as a wye connection.
21. Label the invert elevations and slopes of the proposed sanitary lateral at the sand/oil interceptor, bends, and cleanouts.
22. Label the invert elevations of all proposed storm sewer at bends, cleanouts, catch basins, and connections with the existing storm sewer.
23. Verify the absence of a conflict and appropriate vertical separation between all proposed crossings of the proposed sanitary lateral and building downspout laterals. Label the invert elevations of sanitary lateral and downspout laterals at each proposed crossing.

Sheet C501 – Site Details:

24. Add a stone tracking pad detail that conforms to WDNR stormwater construction technical standard 1057.
25. Provide an underdrain trench detail.
26. Provide a detail for the proposed sand/oil interceptor and its proposed sanitary sewer connections.
27. Provide a detail for the required sanitary lateral wye connection with the existing sanitary sewer.
28. Provide a detail displaying the proposed connection with the existing storm sewer.
29. Provide a typical section, elevation, and details of any design elements for the proposed retaining wall.

General Comments:

30. Plans shall be signed and sealed by professional engineer licensed in the state of Wisconsin.
31. A response memorandum addressing each of the above comments listed must be included in the next submittal. Note, that these comments are not all encompassing and that further comments may arise during future submittals.

Public Works Recommendations:

1. An existing storm sewer pipe crosses this parcel. A new storm sewer easement is needed to be submitted, reviewed, approved, and recorded prior to issuance of building permit.

2. The storm water drainage for this site is to be tributary to the regional pond. Work is occurring at pond. The work needs to be completed, reviewed, and approved prior to approval of this project.
3. Provide televising video showing Sanitary sewer lateral from building to the main. The lateral needs to be reviewed for structural integrity and potential infiltration. The Village staff or designated representative will review the sewer lateral video and check if the lateral condition is adequate or needs rehabilitation. If the work cannot be completed prior to issuance of permit or occupancy, then posting a \$5,000 financial.

Comm. Grabowski motioned/seconded by Trustee Rohde to approve the Conditional Use Grant request for Christian Brothers Automotive, specifically the reduction in parking spaces, with the planner, engineer and DPW recommendations.

Motion carried 6-0.

- b. Review, discussion and possible recommendation to the Village Board for Planned Unit Development (PUD) Overlay District rezoning (including the underlying building architecture/materials/colors, site layout, exterior lighting, landscaping, fencing, and similar related plans) for a proposed car wash development to be located at 120 Simmions Avenue. The applicant is MSI General in c/o Cameron McFarland. The property owner is Wylie Group LLC. The 1.08-acre property is zoned B-2 Downtown Business District.**

Lyons provided a brief overview of the proposal and highlighted several deviations, including building size and materials such as stucco and metal roofing. He noted that an exception is being requested because car washes are not permitted within this zoning district. Lyons presented visual renderings of the proposed development and identified key considerations and questions related to the Planned Unit Development (PUD).

Commissioners discussed “gateway of Pewaukee” signage, traffic study eligibility, building materials, and vehicle stacking concerns. The applicant, **Christopher Mullen @ 935 Emerald Dr, Erin WI**, addressed these questions, explained design choices and operational details, and noted that a traffic study had been completed and was available for review.

Gralinski inquired whether construction could commence within 12 months of approval, as required by Village regulations. The applicant responded that they anticipate completing construction within that timeframe.

Village Planner Recommendations:

The Village of Pewaukee Plan Commission may recommend approval of the zone change request to add a Planned Unit Development Overlay to the Village Board as requested by

Bubbles Foam Farm for the property located at 120 Simmons Avenue, subject to the following conditions:

1. That all conditions made by the Plan Commission at their meeting of October 9, 2025 are met.
2. Code deviation to allow an automotive service use (car wash) within the B-2 Downtown Business District.
3. Code deviation to allow a 5,453 sq. ft. building in the B-2 Downtown Business District.
4. Code deviation to allow building elevations with primary building materials less than the code required 70% of solid portion of any elevation to be clad in a mixture of common size brick, native stone or cedar siding / cement resign siding.
5. Code deviation to allow Stucco / EFIS as primary building material on the first-floor elevations.
6. Code deviation to allow the proposed building not to be placed along the sidewalk in conjunction with dense landscaping per section 40.275(6).
7. Approval to using standing seam metal roofing.
8. This approval is subject to the Petitioner complying at all times with the plans and documents presented to the Village of Pewaukee Plan Commission.
9. The Petitioner shall satisfy all comments, conditions, and concerns of the Village of Pewaukee Plan Commission, Village Engineer and Village Planner for the site plan, and other documentation.
10. Building Inspection. The Petitioner and/or Property Owner shall comply with any and all recommendations by the Village Building Inspector (or designee) prior to the issuance of an occupancy & use permit for the subject property. Approval by the Village Building Inspector, if granted, shall be solely for the benefit of the Village of Pewaukee, and shall not be relied upon by the petitioner or others as proof of structural integrity or safety of any structure on the property, or as proof of compliance with any particular construction standard that would apply to new construction. The petitioner shall independently determine the suitability of all structures on the property for the petitioner's intended uses.
11. This approval is granted for the express conditions stated herein. Changes or alterations including, but not limited to, a change in use, premises, lands, or ownership of the property in question shall require a new conditional use approval with all the zoning procedures at the time being followed. The allowed uses of the property must at no time be hazardous, harmful, obnoxious, offensive, or a nuisance by reasons of appearance, noise, dust, smoke, odor, or other similar factors. Any use not specifically listed, as permitted, shall be considered to be prohibited, except as may be otherwise specified herein.
12. The Property Owner shall allow Village of Pewaukee representatives to inspect the premises following a 24-hour notice for the purposes of determining compliance with this approval.

13. The Petitioner and/or Property Owner shall obtain the appropriate permits from the Village of Pewaukee.
14. The Petitioner and/or Property Owner shall, on demand, reimburse the Village of Pewaukee for all costs and expenses of any type incurred by the Village in connection with the review and approval of this application, including, but not limited to, the cost of professional services incurred by the Village for the review and preparation of required documents, attendance at meetings or other related professional services as well as to enforce the conditions in this approval due to a violation of these conditions.

Village Engineer Recommendations:

1. Proposed signage shall be added to the plan to ensure circulation of the site as intended to deter drivers from navigating the site incorrectly. In addition to adding signage at potential conflict points within the site.
2. Revise the northern access point to meet the minimum driveway width of 22 feet for two-way traffic per the Village code.
3. Spot elevations and grading callouts shall be added to further detail the proposed grading for the site; including but not limited to the following locations:
 - a. Curb geometric points, showing top of pavement/flange grades and top of curb grades.
 - b. Potential grade breaks in proposed pavement and curb and gutter.
 - c. Boundaries between proposed pavement types.
 - d. Match points
 - e. ADA parking stall and accessible aisle which may include a grading detail.
 - f. Building corners
 - g. Site features e.g. the proposed dumpster enclosure.
4. Provide more detail on the grading plan and proposed hydrology exhibit to better depict drainage divides. For example, CB 5 appears to be on-grade, but the drainage divide extends past the inlet.
5. Revise the rainfall file in the WinSLAMM modeling to use Milwaukee rather than Madison. Winter range dates should also be revised consistent with NR 151.12(1)(b).
6. It does not appear that the second step of the "Other Device" is checked on to remove pollutants from off-site areas. Verify that under the Tools -> Program Options tab, that the box stating "If Other Device pollutant load reductions values are set to 1, remove off-site pollutant loads from pollutant load percent reduction calculations" is checked. An additional text line stating this will appear in both the input and output reports once turned on.
7. Pavement and roof areas are modeled as disconnected in WinSLAMM but appear to drain directly to on-site storm sewer via sheet flow across pavement. These areas should be modeled as connected with the next submittal.

8. The Up-Flo Filter input data has not been provided with the WinSLAMM modeling. Submit the modeling information with the next submittal.
9. Provide a detail for the Up-Flo Filter in the civil plans with the next submittal.
10. The pipe run CB 2 – FES 1 does not include any roof area in the storm sewer calculation spreadsheet.
11. Revise with the next submittal or provide an explanation for why there should be no roof area included.
12. Submit .mdb WinSLAMM files and post-drainage basin delineations in CAD or GIS format at the time of final submittal. Include a reference to the horizontal coordinate system used for the basin delineations.
13. The Stormwater Management Memo shall be stamped by a licensed engineer in the State of Wisconsin for the final submittal.
14. A maintenance agreement for storm water management practices will be required. This agreement shall be between the Village and the responsible party to provide maintenance of storm water practices beyond construction completion.
15. Since the project will be disturbing more than one acre, a WDNR Construction Site Stormwater Permit (NOI) is required and should be provided when it is available.
16. The next submittal shall consist of detailed civil engineering plans of the site including but not limited to:
 - a. Proposed erosion control measures.
 - b. Site Details
 - c. Utility Details
 - d. Detailed site and grading plan based on aforementioned comments.
 - e. Material specifications.
17. A response memorandum addressing each of the above comments listed must be included in the next submittal. Note, that these comments are not all encompassing and that further comments may arise during future submittals.

Department of Public Works Recommendations:

1. Provide grit removal system to remove dirt, sand, etc. prior to discharge to public sanitary sewer. Submit specifications and maintenance agreement for to be submitted, reviewed, approved, and recorded prior to issuance of building permit.
2. Landscape plan: Some proposed shrubs are shown in public right of way. Move the proposed shrubs on to the private property.
3. In public right of way, any sidewalk panels with cracks, spalling or missing pieces or misaligned panels must be removed and replaced by Applicant. Village Engineering staff or designated representative to mark panels for removal. Show on drawing for review and approval. Based on initial review, there are 8 panels along Simmons Dr and 1 panel along Capitol Drive. There are 13 panels along the back of curb along Simmons that need to be removed and restored with turf. A right of way permit is needed to remove or replace sidewalk and to follow Village sidewalk specification.

4. Provide PDF copy of ALTA Survey.
5. A storm water permit will be needed.
6. Remove unused driveway approaches and restore to full head concrete curb and gutter.

Comm. Hoff motioned/seconded by Trustee Rohde to recommend to the Village Board for approval with the planner, engineer and DPW recommendations.

Motion carried 6-0.

- c. **Review, discussion, and consultative feedback to applicant Johnson Financial Group regarding a concept to construct a financial institution located at 1194 Capitol Drive / PWV 0903099. The proposed development site is 1.59 acres zoned B-1 Community Business District and owned by McMahon Properties LLC.**

The Commission inquired about the applicant's current location off of Pewaukee Rd and tax status. The applicant, **Brett Hess @ 707 River Ridge Dr, Waterford WI**, confirmed they intend to relocate and do pay property taxes. Hess indicated plans to purchase the property now, begin construction in 2027, and complete the project in 2028; the Commission noted no concerns at this time.

7. Citizen Comments -

- No Comment

8. Adjournment -

Comm. Liebert motioned/seconded by Comm. Belt to adjourn the October 9, 2025, Regular Plan Commission meeting at approximately 7:07 p.m.

Motion carried 6-0.

Respectfully submitted,

Mackenzie Quigley
Deputy Clerk

TO: Village of Pewaukee Plan Commission
CC: Matt Heiser – Village Administrator, Jenna Peter - Clerk
FROM: Mark Lyons, Planning Consultant
RPT DATE: October 31, 2025
MTG DATE: November 13, 2025
RE: Conditional Use Grant for a duplex

BACKGROUND:

1. Petitioner: Aspen Homes, Inc
2. Property Owner: Joanne & Dwight Zoellner
3. Location/Address: 203 E. Wisconsin Avenue
4. Tax Key Numbers: PWV 0899982
5. Area: ~0.316 AC total
6. Existing Zoning: B-2 Downtown Business District
7. Proposed Zoning: N/A
8. Future Land Use: Single Family Residential

OVERVIEW:

The Petitioners are requesting approval to demolish the existing barn structure and construct a new side by side duplex on the above reference parcel. The subject site was previously approved in 2022 for the construction of a side by side duplex but the project was never constructed. The applicant is now proposing an alternative duplex layout and design, resulting in the request for a new Conditional Use Grant.

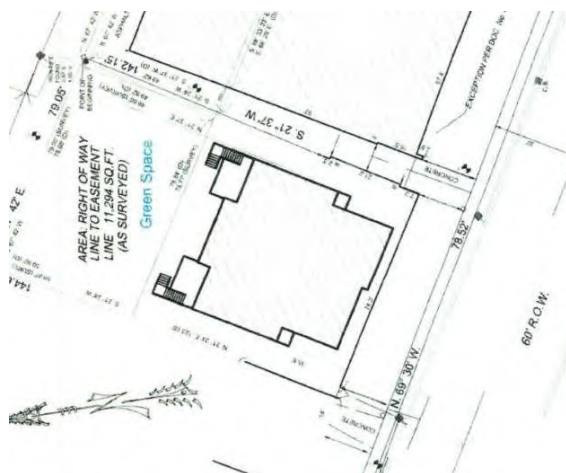
SUBMITTAL:

The enclosed submittal includes the Conditional Use Grant application, GIS map and supplemental information for the project.

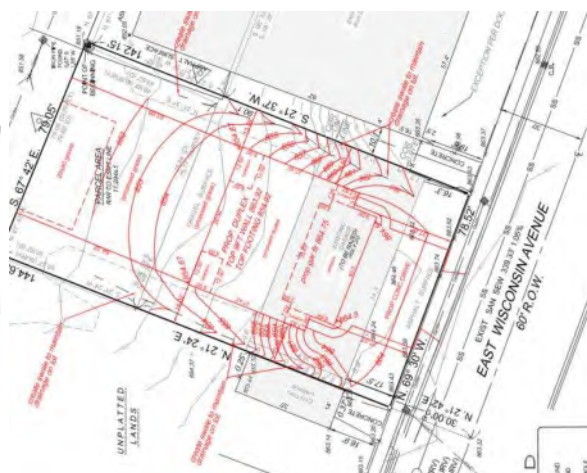
PLANNER COMMENTS:

Section 40.265(15) – States a Conditional Uses for “Multi-family residential development subject to approval by the village board finding that the proposed development will not be detrimental to the surrounding area and/or generate adverse impacts upon the public health, safety and welfare.” Therefore, the proposed duplex will not only require approval of the CUG by the Planning Commission but also approval by the Village Board subject to the findings noted above. This is consistent with the process the subject property completed in 2022.

In reviewing the new application it make sense to review the proposal against the prior approval to see what has changed since 2022. The following are examples of the proposed changes for the duplex.



2022 Site Plan



2025 Site Plan

The 2025 Site Plan includes slight increases in front yard setback and side yard offsets from the 2022 Site Plan.



2022 Front Elevation



1. Any conditions made by the Plan Commission at their meeting of November 13 2025, as noted in the minutes.
2. Approval of the Conditional Use Grant shall be subject to the final approval by the Village Board finding the proposed development is consistent with the ordinance requirements in Section 40.265(15).
3. The Petitioner shall satisfy all comments, conditions, and concerns of the Village of Pewaukee Plan Commission and Board, Village Engineer and Village Planner for the site plan, and other documentation.
4. Building Inspection. The Petitioner and/or Property Owner shall comply with any and all recommendations by the Village Building Inspector (or designee) prior to the issuance of an occupancy & use permit for the subject property. Approval by the Village Building Inspector, if granted, shall be solely for the benefit of the Village of Pewaukee, and shall not be relied upon by the petitioner or others as proof of structural integrity or safety of any structure on the property, or as proof of compliance with any particular construction standard that would apply to new construction. The petitioner shall independently determine the suitability of all structures on the property for the petitioner's intended uses.
5. This approval is granted for the express conditions stated herein. Changes or alterations including, but not limited to, a change in use, premises, lands, or ownership of the property in question shall require a new Business Site Plan approval with all the zoning procedures at the time being followed. The allowed uses of the property must at no time be hazardous, harmful, obnoxious, offensive, or a nuisance by reasons of appearance, noise, dust, smoke, odor, or other similar factors. Any use not specifically listed, as permitted, shall be considered to be prohibited, except as may be otherwise specified herein.
6. The Property Owner shall keep the exterior condition of the premises in a neat and orderly condition at all times so the premises will not detract from neighboring premises. There shall be no outside storage of junk, debris, construction material, or other refuse materials within the property and all such materials shall be disposed of promptly and properly.
7. The Petitioner and/or Property Owner shall obtain the appropriate permits from the Village of Pewaukee.
8. The Petitioner and/or Property Owner shall, on demand, reimburse the Village of Pewaukee for all costs and expenses of any type incurred by the Village in connection with the review and approval of this application, including, but not limited to, the cost of professional services incurred by the Village for the review and preparation of required documents, attendance at meetings or other related professional services as well as to enforce the conditions in this approval due to a violation of these conditions.

EXHIBIT:

- A. GIS Property Location Map
- B. Petitioner Application
- C. Duplex Documents



SEWRPC, Waukesha County Land Information Office

02550

ft

Scale: 1 in. = 84 ft.
1 : 1018



DISCLAIMER: The Village of Pewaukee does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.

Village of Pewaukee
235 Hickory Street
Pewaukee, WI 53072
262-691-5660

Notes

10-2-2025

Village of Pewaukee Plan Commission

Re: Conditional Use Grant Request – 203 E. Wisconsin Avenue

Dear Plan Commission Members,

I am writing to respectfully request a Conditional Use Grant (CUG) for the property located at 203 E. Wisconsin Avenue in the Village of Pewaukee. While I am employed by Aspen Homes, Inc., this application is being made for my own personal project. I currently have an accepted offer to purchase this property and am scheduled to close soon. Upon closing, it is my intent to demolish the existing barn structure on the lot and construct a two-unit duplex with attached garages facing E. Wisconsin Avenue.

As background, in May of 2022, the property's previous owners, Mr. and Mrs. Dwight Zoellner, obtained a CUG for a similar duplex project. Unfortunately, due to unforeseen health issues, they were unable to commence construction and obtain a building permit within the required 12-month period, and the approval expired. It is my understanding that their project had been fully approved, but circumstances prevented it from moving forward.

I am now seeking approval for a project that is the same in concept, but slightly smaller in scale and footprint. My proposal incorporates all items previously requested by the Village during the Zoellner review process, as well as enhancements to ensure full compliance and clarity.

My submission package includes:

- Detailed architectural plans for the new duplex, scaled to meet current guidelines.
- A current property survey showing both the existing barn and the proposed duplex overlay, with all front, side, and rear setbacks noted.
- A grading plan illustrating added grading and swales consistent with the lot's front-to-rear slope.
- Designation of green space in the rear yard, where existing gravel will be replaced with grass, except in the former drive easement area. Calculations on the survey showing that the project meets the minimum open space standard of the B-2 District (i.e. 5%)
- Confirmation that sewer and water laterals, previously installed by the Zoellners, are in place to service both units, with shut-offs located at the lot line.
- A driveway plan providing a shared 25' opening onto E. Wisconsin Avenue, as previously requested by the Village in 2022 documentation.



- Copies of all 2022 Previous application, supporting documentation and reports obtained by the Zoellner family and Village of Pewaukee
- Copy of the 2022 recorded CUG

In addition to fulfilling these requirements, I want to share that I am personally very excited to build in Pewaukee. My family has long been a part of this community, operating a local family business here for many years. I also had the privilege of attending school in the Pewaukee School District, and it would mean a great deal to me to continue to call Pewaukee my home.

I have carefully reviewed the prior conditional use documentation and proactively addressed items that were noted as incomplete in the original submittal. It is my sincere intent that this new application is thorough, complete, and responsive to the Village's expectations.

Given that this project closely aligns with the previously approved plan, I respectfully request that the review process be handled as efficiently as possible so that construction may begin following all necessary board and commission approvals.

Thank you for your time and consideration of my request. If additional information or clarification is needed, please do not hesitate to reach out to me directly at **brayden@aspenhomesinc.com** or **262-366-2965**.

Sincerely,

Brayden Basso

Aspen Homes, Inc.

(Applicant for personal property project at 203 E. Wisconsin Avenue)



CONDITIONAL USE GRANT APPLICATION FORM

235 Hickory St, Pewaukee WI 53072—villagehall@villageofpewaukee.wi.gov— 262-691-5660

PROPERTY / PROPERTY OWNER INFORMATION

Property Address: 203 E Wisconsin Avenue, Pewaukee Tax Key: PWV 0899982
 Property Owner Name: Brayden J Basso Zoning of Property: Business

APPLICANT INFORMATION

Applicant Name: Aspen Homes, Inc. Applicant Phone #: 262-366-2965
 Applicant Address: 325 Oakton Ave. #202 Pewaukee, WI 53072 Applicant Email: brayden@aspenhomesinc.com
 Applicant Email: shelly@aspenhomesinc.com

DESCRIPTION OF REQUEST (Please be thorough and attach additional pages if needed)

Business Name, If applicable: _____

FEIN, if applicable: _____

Description of Proposed Use (Restaurant/Retail/Office) _____
Request to demolish old barn structure has been given by Pewaukee building inspector. We are now requesting a conditional use grant to build a
2-unit side x side duplex with garages facing Wisconsin Ave.

DIRECTIONS / NOTES—See page 4 for specific items required

NOTE: As this is for consultative purposes only, an engineering review will not take place at this time. An engineering review will take place if/when a formal application for approval is submitted.

Please include the following required items with this application:

- ☒ 1. One paper copy of the submittal, including plans/drawings/applicable attachments in a size 11x17 page size or less. Also provide one full size scale copy if larger than 11x17.
- ☒ 2. One digital copy of the submittal, including plans/drawings/applicable attachments. (USB/Email)
- ☒ 3. Completed Professional Services Reimbursement Form
- ☒ 4. Signatures on page 3
- ☐ 5. Conditional Use for Restaurant/Night Club must be attached if applicable

For Office Use Only

Staff Initials: _____

Date/Time Received: _____

Provide detailed information with your application that addresses the following:

1. Development Plans of the proposed use in sufficient detail to enable the Commission to evaluate your application such as architectural & landscape treatment, proper placement of the building(s) on the lot, traffic generation & circulation, provision for parking, site grading and drainage, exterior lighting, dumpster location and screening, outside storage of any sort, and manner of control devices (when necessary) to eliminate noise, dust, odor, smoke or other objectionable operating conditions & ensure general compatibility of the proposed use within its surroundings.
2. It is the responsibility of the applicant/owner to ensure that the proposed project complies with the Village's Land Development Code. It is also highly recommended that the applicant/owner review the Village's adopted [Land Use Plan](#) to ensure a proper understanding of the Village's future vision for the area in question.

Brayden J Basso

Property Owner Printed Name

Signature of Property Owner

The application will not be processed without the Owner's Signature regardless of who is listed as the Applicant. This signature authorizes the Village of Pewaukee to process the Conditional Use Approval Application proposed for my property and further authorizes the Village or its representatives to conduct reasonable and routine inspections of my property for the purposes of evaluating this application.

Brayden J Basso

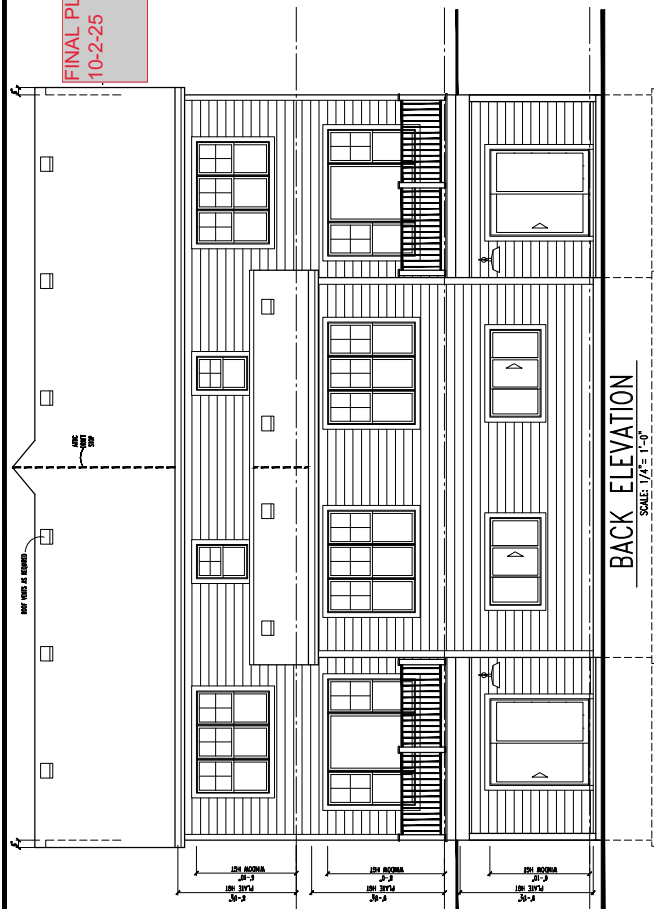
Applicant's Printed Name

Signature of Applicant

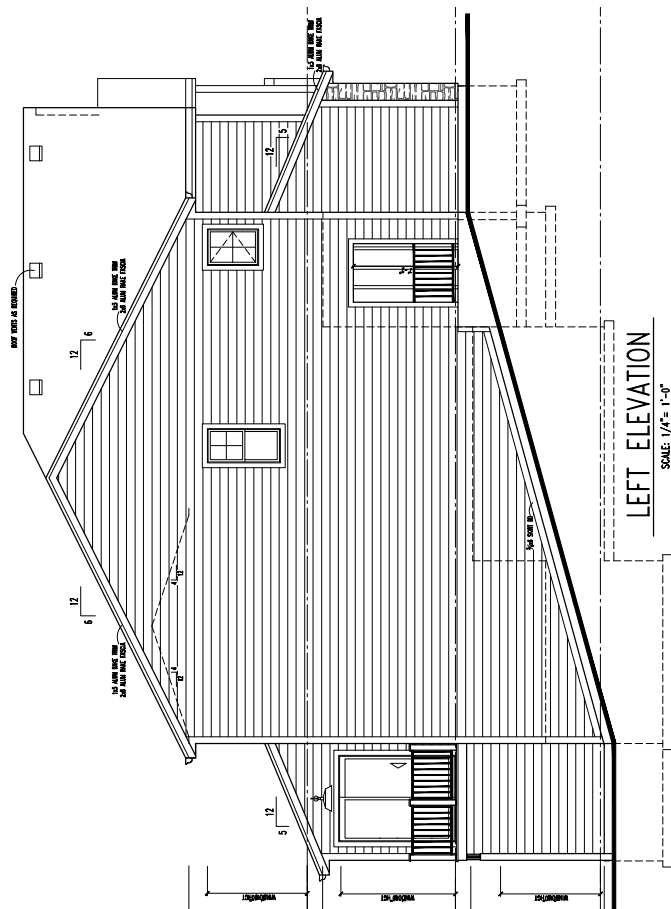
Return the completed application forms along with the required attachments, **\$190** application fee, and a digital copy of the submittal (plus paper copies if required) to Pewaukee Village Hall, 235 Hickory Street, Pewaukee, WI 53072.

If you have any questions, please call Village Hall at (262) 691-5660.

FINAL PLANS
10-2-25

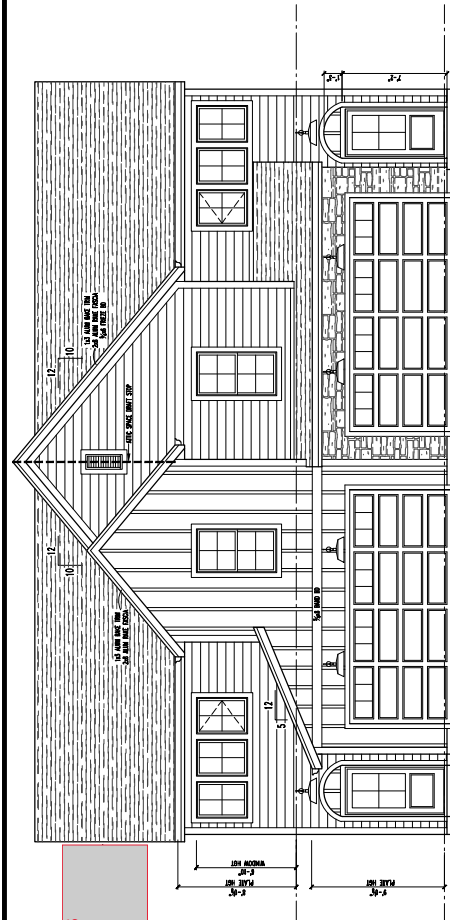


BACK ELEVATION

$$\text{MAF} \cdot 1/A'' = 1' - 0''$$


LEFT ELEVATION

SCALE: 1/4" = 1'-0"



UNIT A



MAIN LEVEL LIVING AREA:	766 SQ.FT.
UPPER LEVEL LIVING AREA:	994 SQ.FT.
TOTAL LIVING AREA:	1760 SQ.FT.
CABINAGE AREA:	393 SQ.FT.

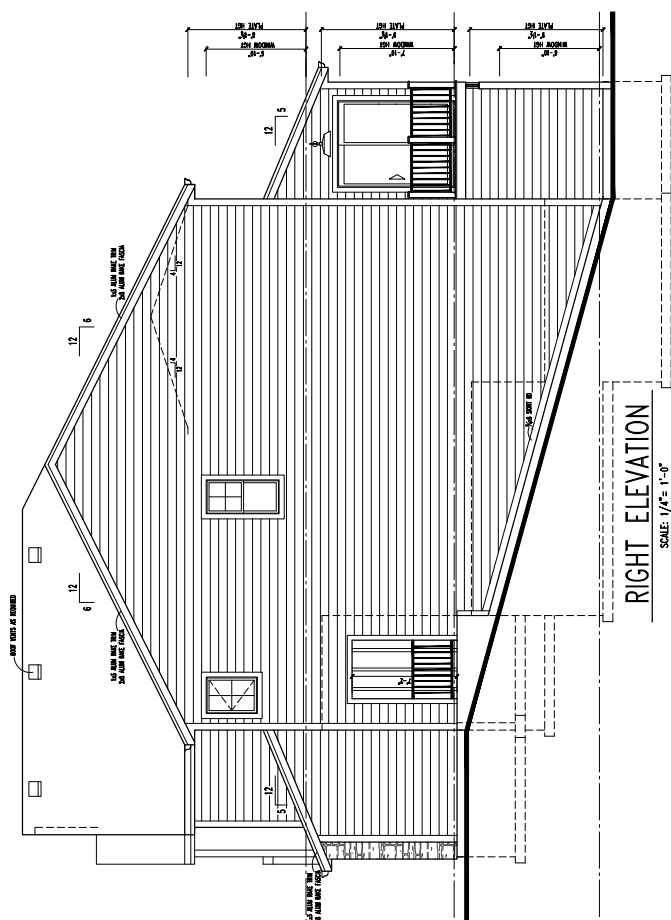
MAIN LEVEL LIVING AREA:	766 SQ.FT.
UPPER LEVEL LIVING AREA:	971 SQ.FT.
TOTAL LIVING AREA:	1737 SQ.FT.
GARAGE AREA:	
	393 SQ.FT.

FRONT ELEVATION

$$-0.1 - 1.3 \times 10^{-3}$$

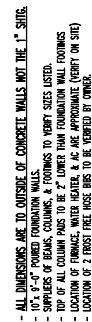
EXTERIOR MATERIALS

- DIMENSIONAL SHIELDS
- ALUMINUM FASCIA & VENTED SOFFITS
- HARDIE PLANK LAP SIDING W/ 1/2" LAP CORNERS
- HARDIE PANEL W/ 1/2" BATTEN STRIPS PER PLAN
- 1/2" LAP TBM & FROST ELEV. PER PLAN
- 1/2" LAP W/ WINDOW/DOOR THRM & SIDES/JACK ELEVATION
- 1/2" LAP LIGHT FEATURE BLOCKS
- AFTER THRM STONE W/ INSULATION STONE 3/15

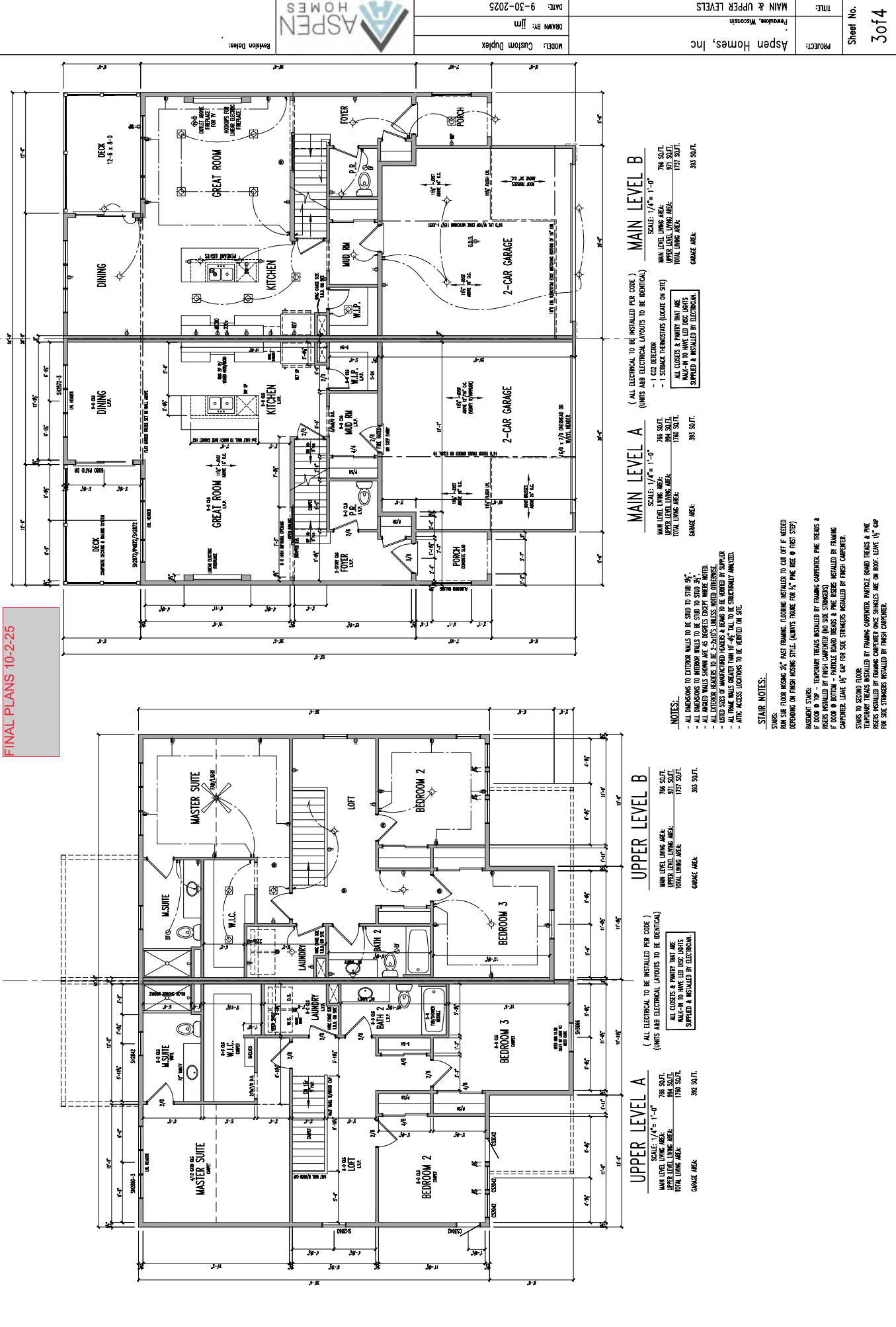


RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



SCALE: 3/8" = 1'-0"



Revision Dates:

MODEL:	Custom Duplex
DRAWN BY:	jlm
DATE:	9-30-2025

Aspen Homes, Inc
Pewaukee, Wisconsin

MAIN LEVEL B

SCALE: 1/4" = 1'-0"
MAIN LEVEL LIVING AREA: 785 SQ. FT.
UPPER LEVEL LIVING AREA: 875 SQ. FT.
TOTAL LIVING AREA: 1750 SQ. FT.
GARAGE AREA: 393 SQ. FT.

MAIN LEVEL A

SCALE: 1/4" = 1'-0"
MAIN LEVEL LIVING AREA: 785 SQ. FT.
UPPER LEVEL LIVING AREA: 875 SQ. FT.
TOTAL LIVING AREA: 1750 SQ. FT.
GARAGE AREA: 393 SQ. FT.

NOTES:

- ALL DIMENSIONS TO EXTERIOR WALLS TO BE STUD TO STUD 90°.
- ALL DIMENSIONS TO INTERIOR WALLS TO BE STUD TO STUD 90°.
- ALL ANGLED WALLS SHOWN ARE 45 DEGREES EXCEPT WHERE NOTED.
- ALL DOOR AND WINDOW SIZES ARE TO BE VERIFIED BY SUPPLIER.
- LISTED SIZES OF MANUFACTURED PARTS & FINISHES TO BE VERIFIED BY SUPPLIER.
- ALL FRAME WALLS GREATER THAN 10'-0" HALL TO BE STRUCTURALLY ANALYZED.
- ATTIC ACCESS LOCATIONS TO BE VERIFIED ON SITE.

STAIR NOTES:

- STAIRS: RUN SIDE FLOOR USING 2x12 JOIST FRAMING. CLOSING INSTALLER TO CUT OFF IF NEEDED DEPENDING ON FINISH FLOORING STYLE. (ALWAYS FRAME FOR 1/2" PINE RISER @ FIRST STEP)
- HANDRAIL STAIRS: IF DOOR @ TOP - TEMPORARY TRAILS INSTALLED BY FRAMING CARPENTER. PINE TRAILS & RISERS INSTALLED BY FINISH CARPENTER (NO SIDE STICKERS).
- IF DOOR @ BOTTOM - PARTICLE BOARD TRAILS & PINE RISERS INSTALLED BY FRAMING CARPENTER. LEAVE 1/2" GAP FOR SIDE STICKERS INSTALLED BY FINISH CARPENTER.
- STAIRS TO SECOND FLOOR: TEMPORARY TRAILS INSTALLED BY FRAMING CARPENTER. PARTICLE BOARD TRAILS & PINE RISERS INSTALLED BY FRAMING CARPENTER ONCE SHINGLES ARE ON ROOF. LEAVE 1/2" GAP FOR SIDE STICKERS INSTALLED BY FINISH CARPENTER.

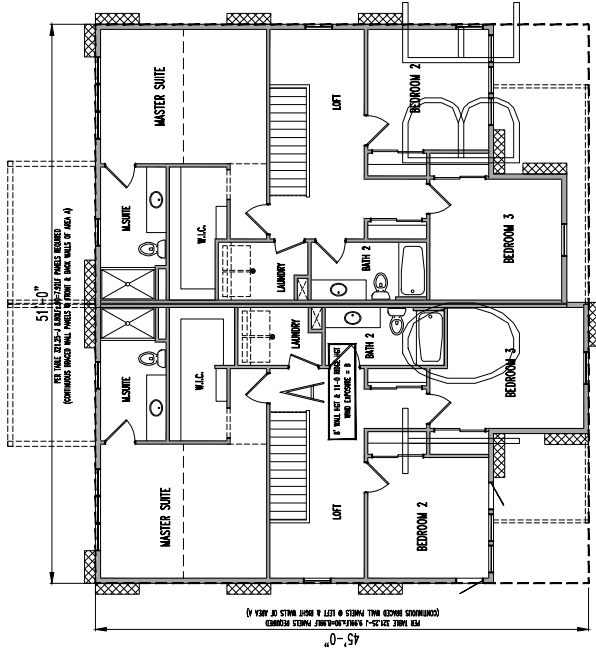
UPPER LEVEL B

SCALE: 1/4" = 1'-0"
MAIN LEVEL LIVING AREA: 785 SQ. FT.
UPPER LEVEL LIVING AREA: 875 SQ. FT.
TOTAL LIVING AREA: 1750 SQ. FT.
GARAGE AREA: 393 SQ. FT.

UPPER LEVEL A

SCALE: 1/4" = 1'-0"
MAIN LEVEL LIVING AREA: 785 SQ. FT.
UPPER LEVEL LIVING AREA: 875 SQ. FT.
TOTAL LIVING AREA: 1750 SQ. FT.
GARAGE AREA: 393 SQ. FT.

REVIEW PLANS NOT FOR CONSTRUCTION

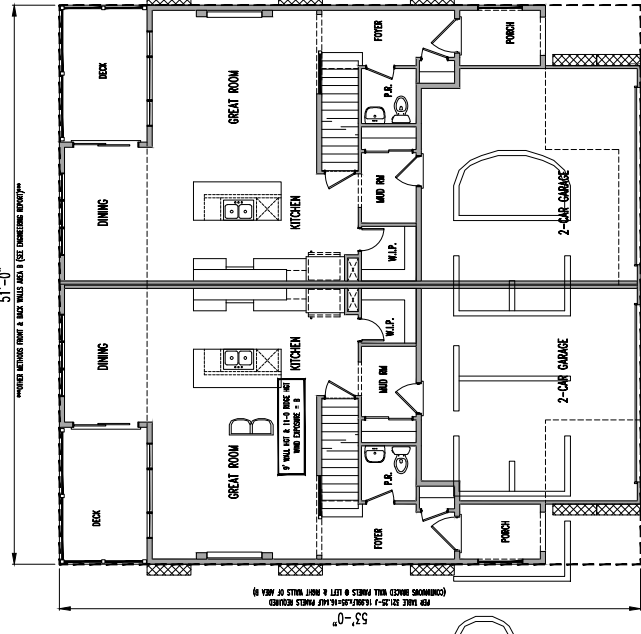


UPPER LEVEL A

UPPER LEVEL B

SCALE 3/16" = 1'-0"

WALL BRACING LAYOUT

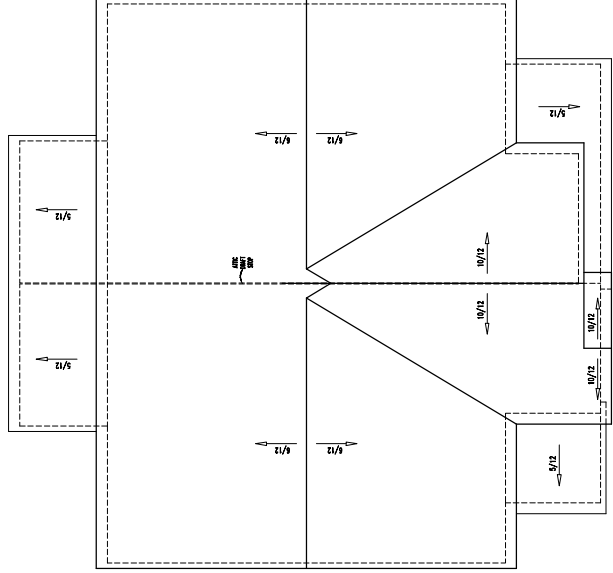


MAIN LEVEL A

MAIN LEVEL B

SCALE 3/16" = 1'-0"

WALL BRACING LAYOUT



ROOF PLAN

SCALE 3/16" = 1'-0"

WALL BRACING LAYOUT

TO: Village of Pewaukee Plan Commission
CC: Matt Heiser – Village Administrator, Jenna Peter - Clerk
FROM: Mark Lyons, Planning Consultant
RPT DATE: October 31, 2025
MTG DATE: November 13, 2025
RE: New single-family home –Conditional Use Request

BACKGROUND:

1. Petitioner: Aspen Homes Inc
2. Property Owner: Luke & Meghan Porath
3. Location/Address: 247 Park Avenue
4. Tax Key Number: PWV 0899214
5. Area: ~0.114 AC
6. Existing Zoning: R-5 / LO Residential Detached District Lakefront Overlay
7. Proposed Zoning: N/A
8. Future Land Use: Single Family Residential

OVERVIEW:

The Petitioners are requesting approval of a Conditional Use Grant on a legal non-conforming lot to demolish the existing home and construct a new home. Section 40.210.4(a) of the LO Lakefront Overlay allows any conditional use as permitted in accordance with the underlying base district. Section 40.209(b) of the R-5 district allows for the reduction in a setback with the issuance of a Conditional Use Grant on a nonconforming lot.

SUBMITTAL:

The enclosed submittal includes the Conditional Use Grant application, GIS map and supplemental information for the project.

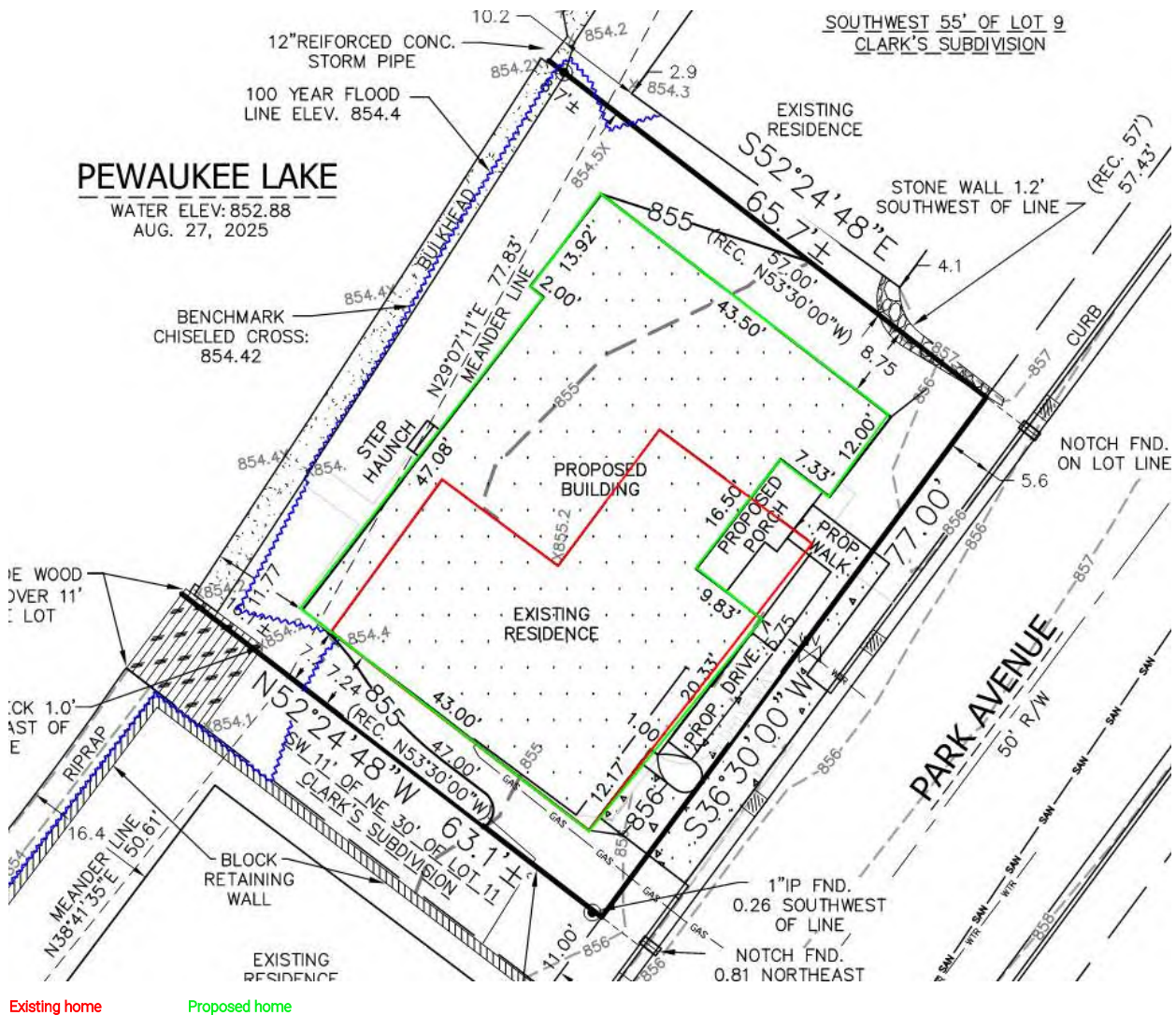
PLANNER COMMENTS:

In reviewing the subject site, it was determined that the current property constitutes legal non-conforming and there is eligible to seek a Conditional Use for reducing code requirements within the R-5 LO district. The R-5 LO district requires a minimum lot size of 0.24 acres, whereas the subject lot is 0.114 acres in size. The applicant is seeking a CUG for the following considerations:

- To maintain the existing minimum building setback on the front property line of 5.75', whereas code requires 35'.
- To slightly increase the existing southwest side yard offset from the existing 7.2' to 7.24', whereas code requires 10'.
- To reduce the required rear yard offset from the existing 16.03' to 11.77", whereas code requires 25'.
- To reduce the required northwest side yard offset from the existing 26.77' to 8.75', whereas code requires 10'.

- To increase the allowed maximum building coverage ratio from the existing 29.65% to 54.33%, whereas code allows a maximum of 30%.

As noted, the R-5 Single-Family Residential zoning district, Section 40.209(b) allows a legal non-conforming property to seek a conditional use to reduce the minimum building setback through the Planning Commission. This parcel is nonconforming due to size and current offsets do not meet the code requirements, thus, seeking a conditional use approval for reductions is an available option.



Street Front:

The applicant would like to maintain the same setback as the existing home. The existing home is 5.75' from the Park Avenue right-of-way line. In reviewing the area, no homes located along Park Avenue appear to meet the 35' front setback. The request reduction would be consistent with the area of the proposed home.



2025 Google Street View

Rear yard offsets:

The applicant would like to reduce the rear yard offset along water from the existing 16.03' to 11.77'. Again, in reviewing the surrounding area, most homes along the water on Park Avenue do not meet the required rear yard offset of 25' and the proposed setback would be consistent with the overall area. However, in this instance Plan Commission will want to carefully consider if it is appropriate to further reduce the existing setback. It may be appropriate for Plan Commission to require the applicant to maintain the existing 16.03' offset along the water as no justification or evidence has been presented as to why this setback needs to be further reduced. Furthermore, with the applicant proposing to greatly increase the current allowed building coverage from 30% to over 54% it is likely appropriate for Plan Commission to maintain the existing rear offset requirement. By holding the applicant to the existing offset in this instance, the applicant can slightly reduce the building coverage and be closer to comply with the ordinance requirements.

Side yard offsets:

Southwest offset: The applicant would like to largely maintain the same side yard offset along the southwest property line as the existing home. The existing home is 7.2' from the lot line and the applicant is proposed a minor increased setback of 7.24'. Again, in reviewing the surrounding area, most homes along the water on Park Avenue do not meet the required side yard offset of 10' and the proposed setback would be consistent with the overall area.

Northeast offset: The applicant is proposing to significantly reduce what is currently a conforming setback of 26.77' to 8.75'. As mentioned above this would not be unusual for the area. However, in this instance Plan Commission will want to carefully consider if it is appropriate to reduce the existing code compliant setback.

It may be appropriate for Plan Commission to require the applicant to meet the required 10' offset on this side as no justification or evidence has been presented as to why this setback needs to be further reduced. Similar to the rear yard above, holding the applicant to the required 10' side offset would further reduce the proposed building coverage while still allowing the new home to be constructed with a similar setback to other structures in the area.

Maximum building coverage:

The applicant is proposed to significantly increase the maximum allowable building coverage from 30% to over 54%. While this is not uncommon for the overall area it is uncommon for the lot in question. The current home occupies 29.65% of the subject parcel, complying with the current ordinance requirements. The Plan Commission will want to carefully consider if the proposed increase is warranted and has been adequately justified by the applicant.

Considerations:

In evaluating the applicant's request, the Plan Commission may want to consider weighing a number of considerations:

- 1) Side yard offset reduction – Has the applicant justified and provided evidence for reducing the side yard offset along the northeast property line from 10' to 8.75'?
- 2) Rear yard offset reduction - Has the applicant justified and provided evidence for further reducing the rear yard offset along the water from 16.03' to 11.77'?
- 3) Maximum building coverage - Has the applicant justified and provided evidence for increased the allowed maximum building coverage from 30% to 54.33%?
- 4) Is the proposed site plan consistent with the area in which the development is proposed?

STAFF RECOMMENDATION:

Depending on confirmation by the Village of Pewaukee Plan Commission of the above-described comments, the Village of Pewaukee Plan Commission may take the following actions listed below.

The Village of Pewaukee Plan Commission **Approves** the Conditional Use Grant Request Aspen Homes Inc for the property located at **247 Park Avenue**, subject to the following conditions:

1. That all conditions made by the Plan Commission at their meeting of November 13, 2025 are met.
2. That this conditional use allows a new home on the above-mentioned property to be constructed **5.75'** feet from the Park Avenue property line.
3. That this conditional use allows a new home on the above-mentioned property to be constructed **7.24'** feet from the southwest side property line.
4. That this conditional use requires the new home on the above-mentioned property to be constructed **11.77'** feet from the water side rear property line, maintaining the same offset as the existing home.
5. That this conditional use requires the new home on the above-mentioned property to be constructed **10'** or more from the northeast side property line.
6. That this conditional use requires the applicant to revise the maximum allowed lot coverage to be in compliance with the setback / offsets requirements as outline in items 2-5 above and shall only exceed the maximum allowable 30% to the minimum amount necessary to comply with the above referenced

setback / offset requirements. An update site plan including the updated calculations for the maximum building coverage shall be submitted to Village Staff for review and approval prior to issuance of permits.

7. This approval is subject to the Petitioner complying at all times with the plans and documents presented to the Village of Pewaukee Plan Commission or as required to be modified herein.
8. The Petitioner shall satisfy all comments, conditions, and concerns of the Village of Pewaukee Plan Commission, Village Engineer and Village Planner for the site plan, and other documentation.
9. Building Inspection. The Petitioner and/or Property Owner shall comply with any and all recommendations by the Village Building Inspector (or designee) prior to the issuance of an occupancy & use permit for the subject property. Approval by the Village Building Inspector, if granted, shall be solely for the benefit of the Village of Pewaukee, and shall not be relied upon by the petitioner or others as proof of structural integrity or safety of any structure on the property, or as proof of compliance with any particular construction standard that would apply to new construction. The petitioner shall independently determine the suitability of all structures on the property for the petitioner's intended uses.
10. This approval is granted for the express conditions stated herein. Changes or alterations including, but not limited to, a change in use, premises, lands, or ownership of the property in question shall require a new conditional use approval with all the zoning procedures at the time being followed. The allowed uses of the property must at no time be hazardous, harmful, obnoxious, offensive, or a nuisance by reasons of appearance, noise, dust, smoke, odor, or other similar factors. Any use not specifically listed, as permitted, shall be considered to be prohibited, except as may be otherwise specified herein.
11. The Property Owner shall allow Village of Pewaukee representatives to inspect the premises following a 24-hour notice for the purposes of determining compliance with this approval.
12. The Petitioner and/or Property Owner shall obtain the appropriate permits from the Village of Pewaukee.
13. The Petitioner and/or Property Owner shall, on demand, reimburse the Village of Pewaukee for all costs and expenses of any type incurred by the Village in connection with the review and approval of this application, including, but not limited to, the cost of professional services incurred by the Village for the review and preparation of required documents, attendance at meetings or other related professional services as well as to enforce the conditions in this approval due to a violation of these conditions.

EXHIBIT:

- A. GIS Property Location Map
- B. Petitioner Application



SEWRPC, Waukesha County Land Information Office

0 5 10
ft



Scale: 1 in. = 25 ft.

1 : 307



DISCLAIMER: The Village of Pewaukee does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.

Village of Pewaukee
235 Hickory Street
Pewaukee, WI 53072
262-691-5660

Notes

Conditional Use Request

Prepared by: Shelly Basso, Aspen Homes

On behalf of: Luke and Meghan Porath

Property Address: 247 Park Avenue, Pewaukee Lake

I am Shelly Basso of Aspen Homes, representing Luke and Meghan Porath, the owners of the property at 247 Park Avenue on Pewaukee Lake. The Poraths are seeking a conditional use grant to demolish their existing lake cottage and construct a new home on the property.

The current structure is considered a non-conforming use. Our request is to allow the continuation of use under a conditional use grant so that the new residence can be constructed in compliance with the City's requirements.

We have submitted complete building plans as well as a detailed property survey. The survey clearly illustrates all setbacks and provides calculations for both existing and proposed impervious surfaces.

- Street Front Setback: No change from existing.
- Southwest Lot Line Setback: Maintained at 7.24'.
- Northeast (Right Side) Setback: 8.75'.
- Lakeside (Rear) Setback: 11.77' at the shortest distance.

All impervious surface data has been carefully calculated and documented on the survey to ensure transparency for your review.

We believe we are submitting all necessary items for this request. If the Commission or staff requires any additional information, please let us know as soon as possible so that we can provide it ahead of the commission agenda.

We do not anticipate that this change and new build will result in any negative effects on the neighboring properties.

The Poraths respectfully request approval of this conditional use grant so that they may move forward with replacing their outdated lake cottage with a new home that meets the needs of their family while aligning with the City's development standards.

Sincerely:

Shelly Basso

Aspen Homes, Inc.



CONDITIONAL USE GRANT APPLICATION FORM

235 Hickory St, Pewaukee WI 53072—villagehall@villageofpewaukee.gov— 262-691-5660

PROPERTY / PROPERTY OWNER INFORMATION

☐

Property Address: 247 Park Avenue Tax Key: PWV 0899214

Property Owner Name: Luke + Meghan Porath Zoning of Property: _____

APPLICANT INFORMATION

☐

Applicant Name: Shelly Basso/Aspen Homes Inc Applicant Phone #: 262-695-4485

Applicant Address: 325 Oakton Ave #202 PKE Applicant Email: _____

Applicant Email: shelly@aspenhomesinc.com

DESCRIPTION OF REQUEST (Please be thorough and attach additional pages if needed)

☐

~~Business Name, if applicable: _____~~

~~FEIN, if applicable: _____~~

Description of Proposed Use (Restaurant/Retail/Office) _____

Demolition and building of a new single family home
* see Narrative attached

DIRECTIONS / NOTES—See page 4 for specific items required

☐

NOTE: As this is for consultative purposes only, an engineering review will not take place at this time. An engineering review will take place if/when a formal application for approval is submitted.

Please include the following required items with this application:

- ☒ 1. One paper copy of the submittal, including plans/drawings/applicable attachments in a size 11x17 page size or less. Also provide one full size scale copy if larger than 11x17.
- ☒ 2. One digital copy of the submittal, including plans/drawings/applicable attachments. (USB/Email)
- ☒ 3. Completed Professional Services Reimbursement Form
- ☒ 4. Signatures on page 3
- ☐ 5. Conditional Use for Restaurant/Night Club must be attached if applicable

For Office Use Only

Staff Initials: _____

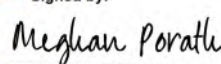
Date/Time Received: _____

Provide detailed information with your application that addresses the following:

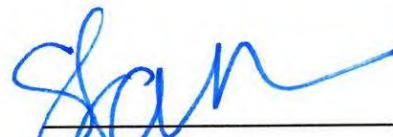
1. Development Plans of the proposed use in sufficient detail to enable the Commission to evaluate your application such as architectural & landscape treatment, proper placement of the building(s) on the lot, traffic generation & circulation, provision for parking, site grading and drainage, exterior lighting, dumpster location and screening, outside storage of any sort, and manner of control devices (when necessary) to eliminate noise, dust, odor, smoke or other objectionable operating conditions & ensure general compatibility of the proposed use within its surroundings.
2. It is the responsibility of the applicant/owner to ensure that the proposed project complies with the Village's Land Development Code. It is also highly recommended that the applicant/owner review the Village's adopted [Land Use Plan](#) to ensure a proper understanding of the Village's future vision for the area in question.

Property Owner Printed Name

Signature of Property Owner

Signed by:

5ACE9169A9314C9...

The application will not be processed without the Owner's Signature regardless of who is listed as the Applicant. This signature authorizes the Village of Pewaukee to process the Conditional Use Approval Application proposed for my property and further authorizes the Village or its representatives to conduct reasonable and routine inspections of my property for the purposes of evaluating this application.


Applicant's Printed Name
Signature of Applicant

Return the completed application forms along with the required attachments, **\$190** application fee, and a digital copy of the submittal (plus paper copies if required) to Pewaukee Village Hall, 235 Hickory Street, Pewaukee, WI 53072.

If you have any questions, please call Village Hall at (262) 691-5660.

See [the municipal code regarding site structure design criteria for the commercial, industrial, park, institutional, and multi-family residential developments](#) for a complete listing of plan requirements. Additional plan details may be required on a case-by-case basis if the Village's review staff or the Planning Commission finds such information is necessary to complete a full and proper project review.

DETAILED SITE PLAN

engineering scale	floodplain and/or wetland boundary
Location/vicinity map	sign location (may require additional approval)
north arrow	exterior light locations
footprint of dimensioned property lines	phasing lines
existing & proposed buildings	floor area ratio
footprint of existing adjacent buildings	open space ratio
driveway location	site acreage
parking stalls	sidewalks/pedestrian walkways
adjacent public streets	dumpster/recycling area location
easements	ground HVAC and/or utility installations
setback & offset dimensions	fence location
pond/detention location	such other details as may be determined necessary

DETAILED ARCHITECTURAL PLAN

architectural scale	dimensioned building façade sign
all building views/elevations w/scale	exterior utility boxes
detailed materials specifications	exposed HVAC equipment
building height dimension	dumpster/recycling area location and screening
general floor plan with dimensions	samples of building materials (for presentation to Planning Commission)
exterior building materials and colors	building mounted lighting fixtures
	such other details as may be determined necessary

DETAILED LANDSCAPING PLAN

existing and proposed two-foot contour lines at the local datum (floodplain property should be identified at USGS datum)
pond/detention location
stormwater and erosion control devices

SIGNAGE PLAN

scaled design drawing of freestanding and/or facade signs
sign specifications and color (wattage, material, dimensions)

EXTERIOR LIGHTING

light fixture design detail and specifications
iso footcandle lighting dispersion plan

PLAT OF SURVEY

LAND MARK
ENGINEERING SCIENCES, INC.

119 COOLIDGE AVE., SUITE 100
WAUKESHA, WI 53186
(414) 719-2769
landmark-engineering@live.com

SURVEYOR:
MARK AUGUSTINE, PLS

SURVEY FOR:
LUKE & MEGAN PORATH

PROPERTY:
247 PARK AVENUE
PEWAUKEE, WI 53072

LEGAL DESCRIPTION:

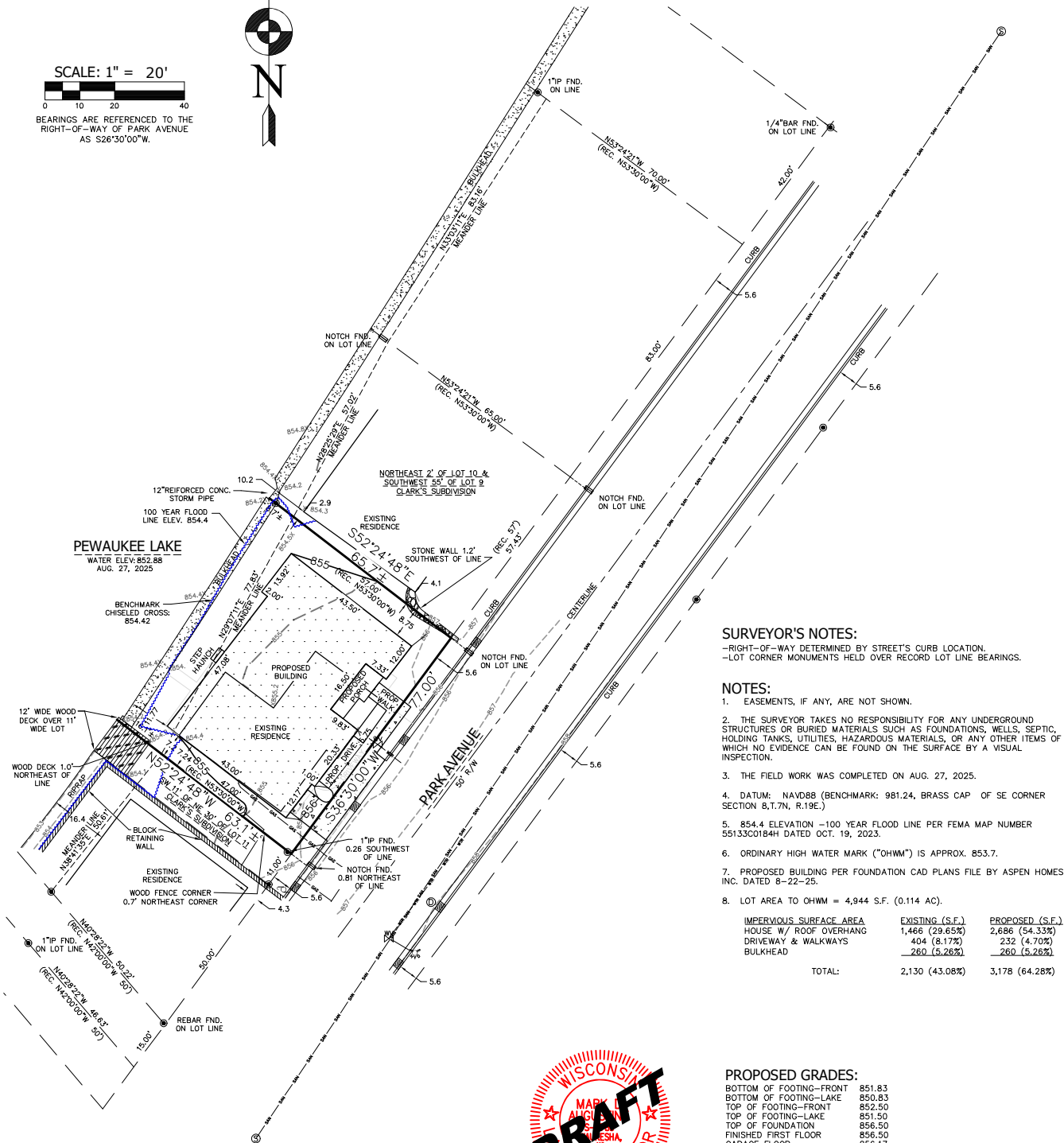
LOT 10, EXCEPT THE NORTHEASTERLY 2 FEET THEROF, AND THE NORTHEASTERLY 19 FEET OF LOT 11, CLARK'S SUBDIVISION LOCATED IN THE NE. 1/4 OF THE SE. 1/4 OF SECTION 8, T.7N., R.19E., VILLAGE OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

LEGEND

- - 1" IRON PIPE FOUND (UNLESS OTHERWISE STATED)
- - 1" DIA. IRON PIPE SET, 18" LONG
- - FIELD INLET
- - UTILITY BOX
- OVERHEAD UTILITY WIRE
- UTILITY POLE W/ GUY WIRE
- CONCRETE
- ASPHALT

SCALE: 1" = 20'

BEARINGS ARE REFERENCED TO THE RIGHT-OF-WAY OF PARK AVENUE AS S26°30'00"W.



SURVEYOR'S NOTES:

- RIGHT-OF-WAY DETERMINED BY STREET'S CURB LOCATION.
- LOT CORNER MONUMENTS HELD OVER RECORD LOT LINE BEARINGS.

NOTES:

1. EASEMENTS, IF ANY, ARE NOT SHOWN.
2. THE SURVEYOR TAKES NO RESPONSIBILITY FOR ANY UNDERGROUND STRUCTURES OR BURIED MATERIALS SUCH AS FOUNDATIONS, WELLS, SEPTIC HOLDING TANKS, UTILITIES, HAZARDOUS MATERIALS, OR ANY OTHER ITEMS OF WHICH NO EVIDENCE CAN BE FOUND ON THE SURFACE BY A VISUAL INSPECTION.
3. THE FIELD WORK WAS COMPLETED ON AUG. 27, 2025.
4. DATUM: NAVD83 (BENCHMARK: 981.24, BRASS CAP OF SE CORNER SECTION 8, T.7N, R.19E.)
5. 854.4 ELEVATION -100 YEAR FLOOD LINE PER FEMA MAP NUMBER 55133C0184H DATED OCT. 19, 2023.
6. ORDINARY HIGH WATER MARK ("OHWM") IS APPROX. 853.7.
7. PROPOSED BUILDING PER FOUNDATION CAD PLANS FILE BY ASPEN HOMES INC. DATED 8-22-25.
8. LOT AREA TO OHWM = 4,944 S.F. (0.114 AC).

IMPERVIOUS SURFACE AREA	EXISTING (S.F.)	PROPOSED (S.F.)
HOUSE W/ ROOF OVERHANG	1,466 (29.65%)	2,686 (54.33%)
DRIVEWAY & WALKWAYS	404 (8.17%)	232 (4.70%)
BULKHEAD	260 (5.26%)	260 (5.26%)
TOTAL:	2,130 (43.08%)	3,178 (64.28%)

PROPOSED GRADES:

BOTTOM OF FOOTING-FRONT	851.83
BOTTOM OF FOOTING-LAKE	850.83
TOP OF FOOTING-FRONT	852.50
TOP OF FOOTING-LAKE	851.50
FINISHED FIRST FLOOR	856.50
GARAGE FLOOR	856.17
FRONT YARD GRADE	856.00
REAR YARD GRADE	854.75

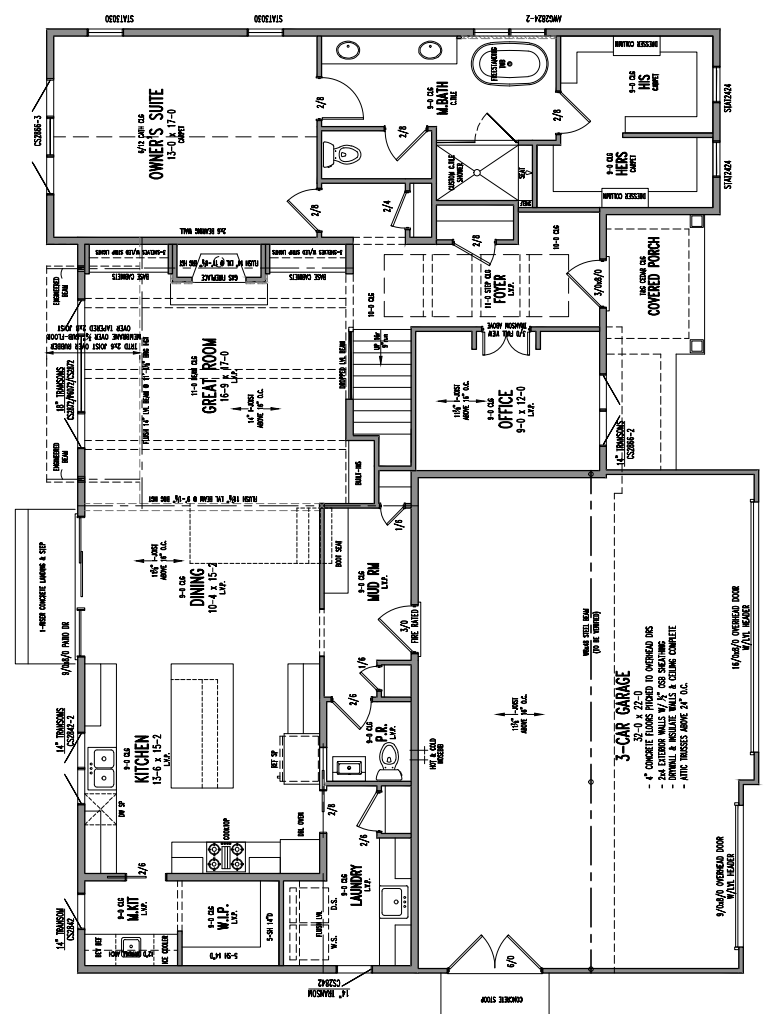
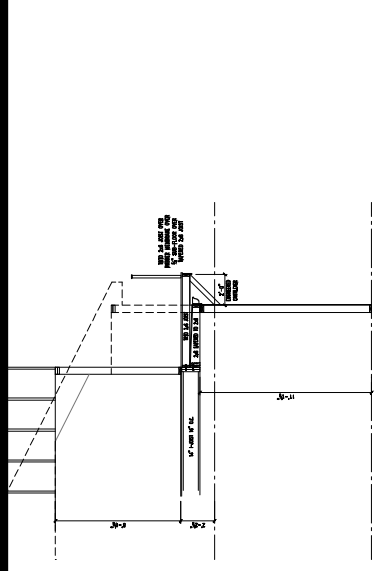
SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND, IN MY PROFESSIONAL OPINION, THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

THIS SURVEY IS MADE FOR THE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE (1) YEAR FROM DATE HEREOF.

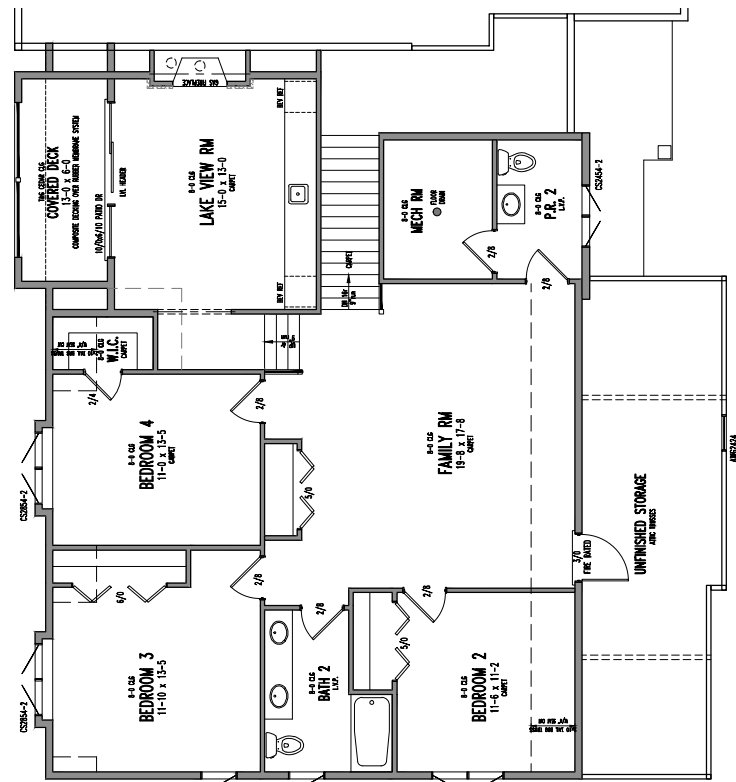
PROJECT # 4238.00





MAIN LEVEL PLAN

MAIN LEVEL LIVING AREA: 1811 SQ. FT.
UPPER LEVEL LIVING AREA: 1416 SQ. FT.
TOTAL LIVING AREA: 3227 SQ. FT.
GARAGE AREA: 687 SQ. FT.



UPPER LEVEL PLAN

MAIN LEVEL LIVING AREA: 1811 SQ. FT.
UPPER LEVEL LIVING AREA: 1416 SQ. FT.
TOTAL LIVING AREA: 3227 SQ. FT.
GARAGE AREA: 687 SQ. FT.

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Customer: Porath
Model: Custom Lake Home
Date: 3-5-2025
Rev./Date: 9-26-2025

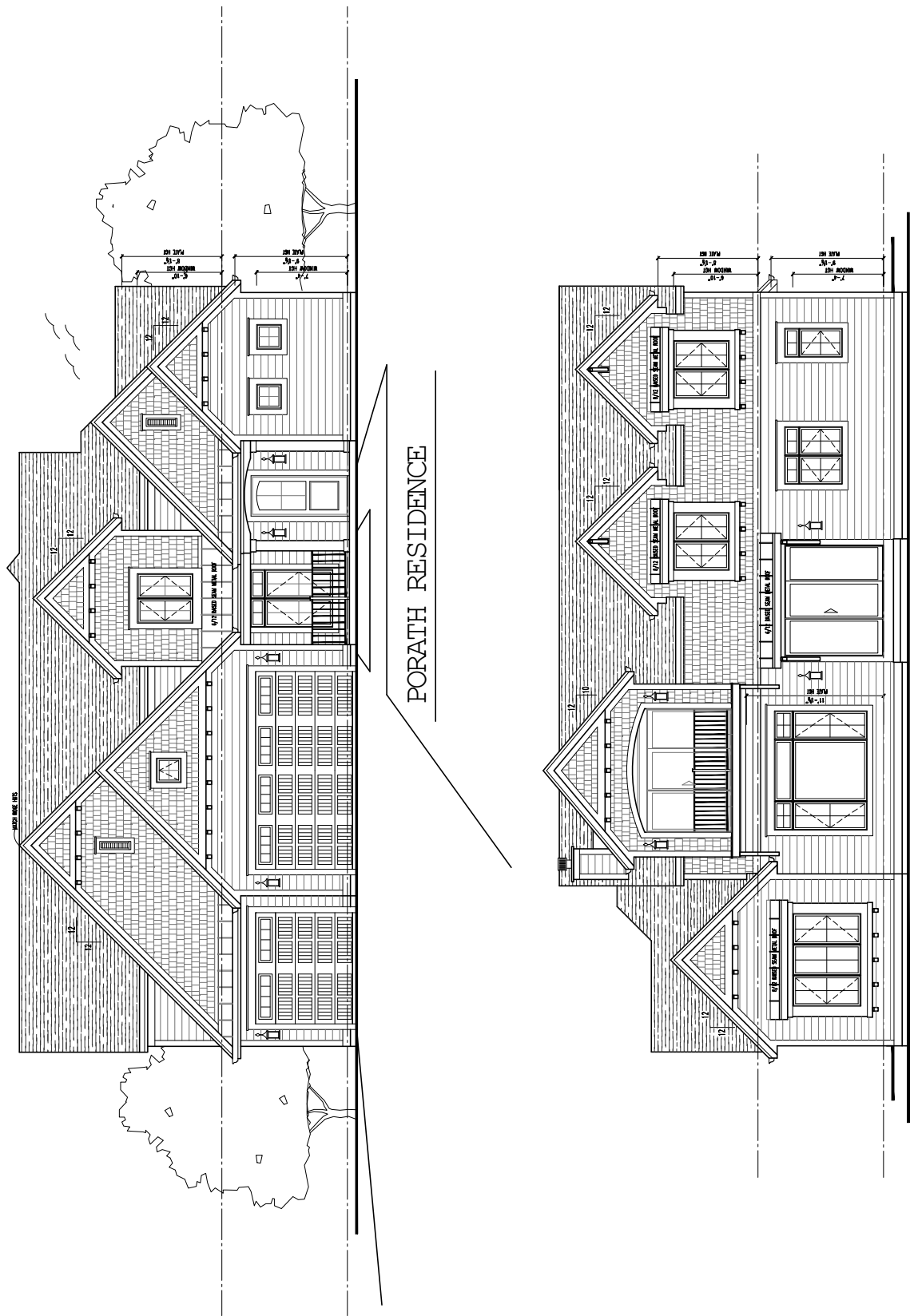
SCALE: 1/8" = 1'-0"

Paper Size: Ledger (11x17)

- ALL DIMENSIONS ARE TO OUTSIDE OF CONCRETE WALLS NOT THE 2" SFTG.
- 6" x 4'-0" POURED FOUNDATION FROST WALLS W/2" R-10 SFTG.
- SUPPLIERS OF BEAMS, COLUMNS, & FOOTINGS TO VERIFY SIZES LISTED.
- LOCATION OF 2 FROST FREE HOSE BIDS TO BE VERIFIED BY OWNER.



- 18"x11" CONCRETE FIG



PORATH RESIDENCE

LAKE ELEVATION

SCALE: 1/8" = 1'-0"

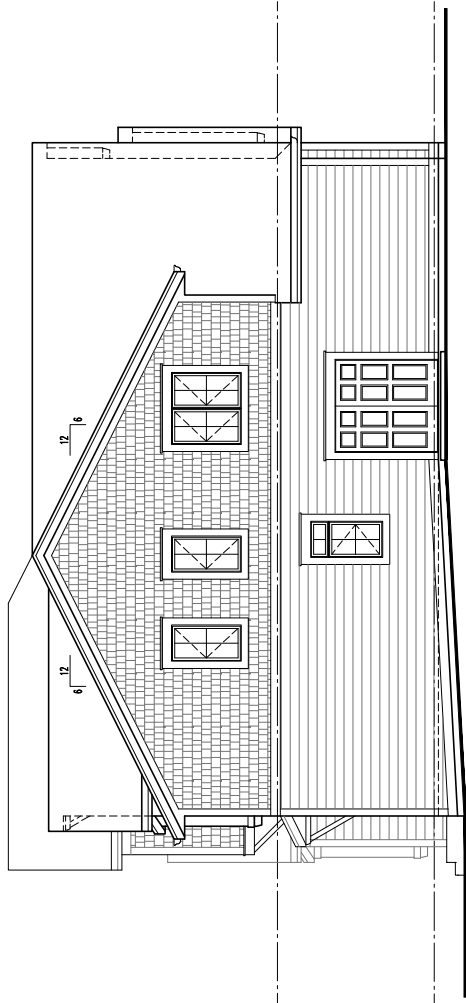
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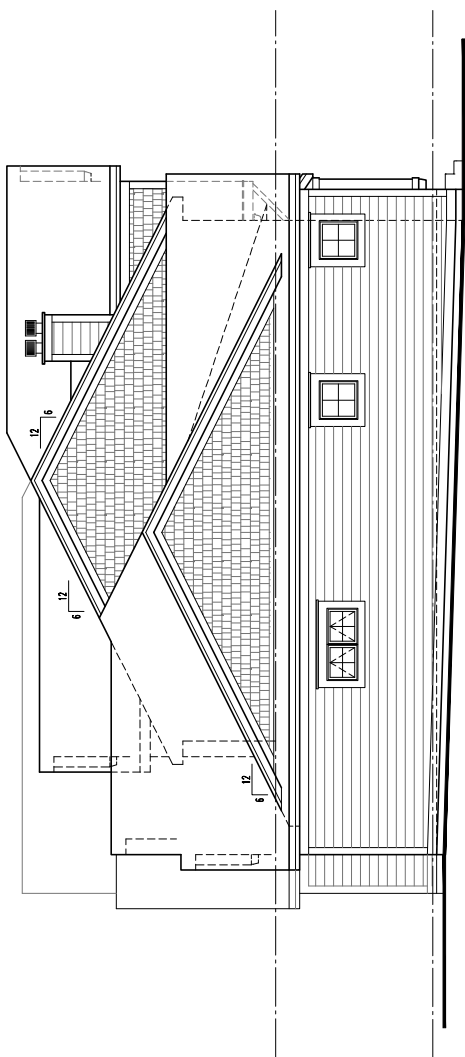
Date: 8-7-2025	Rev./Date: 9-26-2025
Model: Custom Lake Home	
Customer: Porath	

SCALE: 1/8" = 1'-0"

LEFT ELEVATION



RIGHT ELEVATION



TO: Village of Pewaukee Plan Commission
CC: Matt Heiser – Village Administrator, Jenna Peter - Clerk
FROM: Mark Lyons, Planning Consultant
RPT DATE: October 31, 2025
MTG DATE: November 13, 2025
RE: Residential addition –Conditional Use Request

BACKGROUND:

1. Petitioner: Caven & Annette Boggess
2. Property Owner: Caven & Annette Boggess
3. Location/Address: 616 Kopmeier Drive
4. Tax Key Number: PWV 089044
5. Area: ~0.149 AC
6. Existing Zoning: R-5 / LO Residential Detached District Lakefront Overlay
7. Proposed Zoning: N/A
8. Future Land Use: Single Family Residential

OVERVIEW:

The Petitioners are requesting approval of a Conditional Use Grant on a legal non-conforming lot to construct an attached two car garage with second floor living space on the north side of the existing home. Section 40.210.4(a) of the LO Lakefront Overlay allows any conditional use as permitted in accordance with the underlying base district. Section 40.209(b) of the R-5 district allows for the reduction in a setback with the issuance of a Conditional Use Grant on a nonconforming lot.

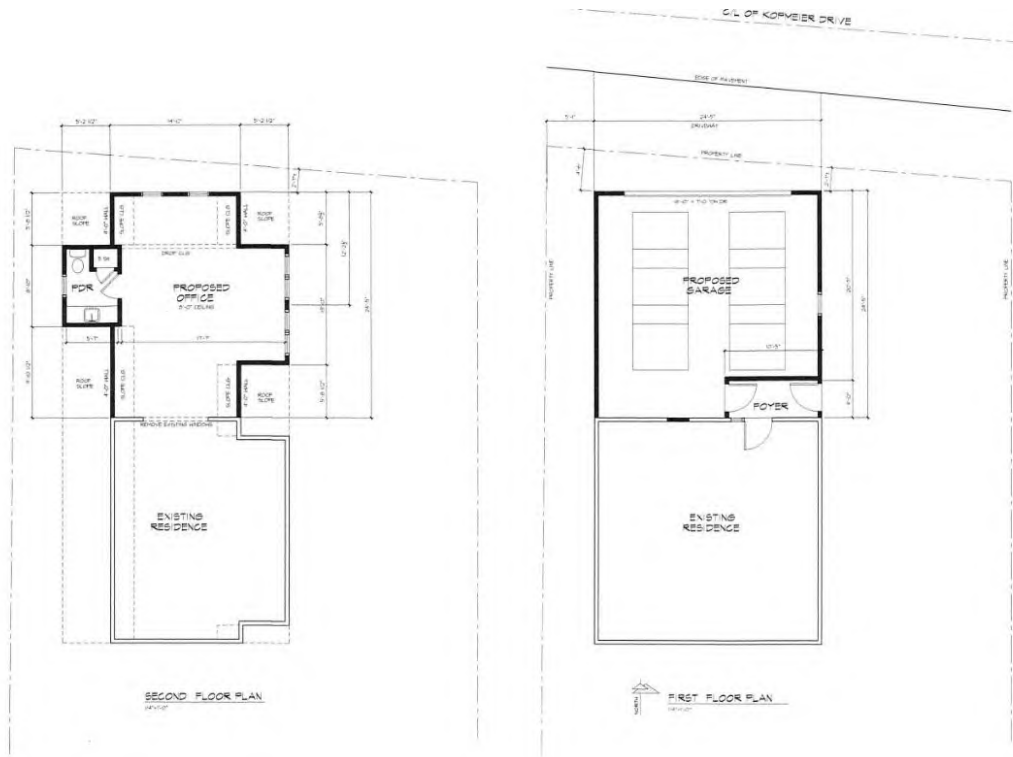
SUBMITTAL:

The enclosed submittal includes the Conditional Use Grant application, GIS map and supplemental information for the project.

PLANNER COMMENTS:

In reviewing the subject site, it was determined that the current property constitutes legal non-conforming and there is eligible to seek a Conditional Use for a minimum setback reduction within the R-5 LO district. The R-5 LO district requires a minimum building setback of 35'. The applicant is seeking a CUG to reduce the minimum building setback on the north property line to 2.58'.

As noted, the R-5 Single-Family Residential zoning district, Section 40.209(b) allows a legal non-conforming property to seek a conditional use to reduce the minimum building setback through the Planning Commission. This parcel is nonconforming due to size and current offsets do not meet the code requirements, thus, seeking a conditional use approval for the reduction in the 2.58' is an available option.



Per the petitioners submitted narrative there is not presently any available parking on site and the applicant is parking across Kopmeier Drive on property owned by Canadian Pacific Railroad. Construction of the proposed attached garage would eliminate the need to park offsite, as well as, provide additional living space for the applicants. Reviewing the surrounding area, the reduction to 2.58' would not be out of the character with the surrounding area. Several other structures in the area exist within close proximity to Kopmeier Drive. This includes both accessory and primary structures. Below are several examples along Kopmeier Drive, but many more also exist.

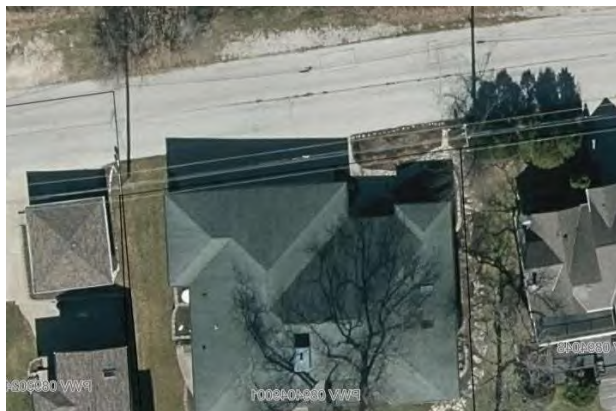
Immediately west of the subject property at 620 Kopmeier Drive the home is located right up to the property line and its parking area crosses the property line.



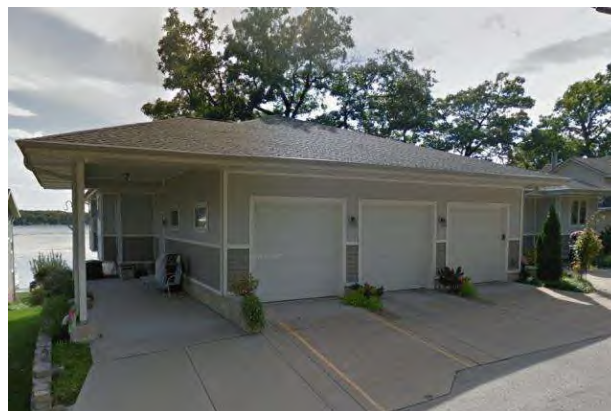
620 Kopmeier Drive.



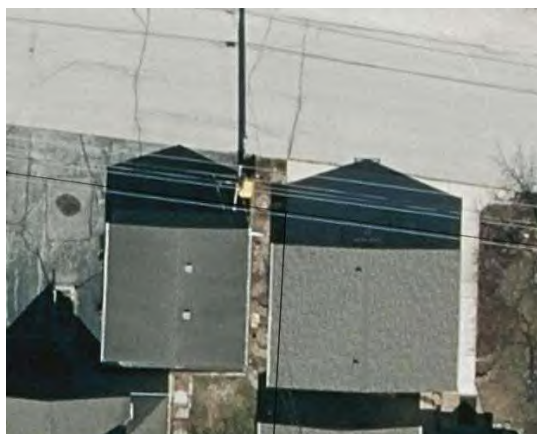
East of the subject property at 586 Kopmeier Drive the home is located right up to the property line.



586 Kopmeier Drive.



East of the subject property at 606 & 600 Kopmeier Drive garages are in close proximity to the property line.



606 & 600 Kopmeier Drive.



Additionally, per the petitioners submitted narrative, the addition will be clad in matching materials and colors as the existing structure. Below are images of the existing structure that will be matched as part of the addition.



Street Elevation



Water Elevation

The requested placement of the attached garage should not have an adverse effect on the area any more than other existing structure along Kopmeier Drive.

STAFF RECOMMENDATION:

Depending on confirmation by the Village of Pewaukee Plan Commission of the above-described comments, the Village of Pewaukee Plan Commission may take the following actions listed below.

The Village of Pewaukee Plan Commission Approves the Conditional Use Grant Request Caven & Annette Boggess for the property located at **616 Kopmeier Drive**, subject to the following conditions:

1. That all conditions made by the Plan Commission at their meeting of November 13, 2025 are met.
2. That this conditional use allows a building addition on the above referenced property to be as close as 2.58' feet from the North property line.
3. This approval is subject to the Petitioner complying at all times with the plans and documents presented to the Village of Pewaukee Plan Commission.
4. The Petitioner shall satisfy all comments, conditions, and concerns of the Village of Pewaukee Plan Commission, Village Engineer and Village Planner for the site plan, and other documentation.
5. Building Inspection. The Petitioner and/or Property Owner shall comply with any and all recommendations by the Village Building Inspector (or designee) prior to the issuance of an occupancy & use permit for the subject property. Approval by the Village Building Inspector, if granted, shall be solely for the benefit of the Village of Pewaukee, and shall not be relied upon by the petitioner or others as proof of structural integrity or safety of any structure on the property, or as proof of compliance with any particular construction standard that would apply to new construction. The petitioner shall independently determine the suitability of all structures on the property for the petitioner's intended uses.
6. This approval is granted for the express conditions stated herein. Changes or alterations including, but not limited to, a change in use, premises, lands, or ownership of the property in question shall require a new conditional use approval with all the zoning procedures at the time being followed. The allowed uses of the property must at no time be hazardous, harmful, obnoxious, offensive, or a nuisance by reasons of appearance, noise, dust, smoke, odor, or other similar factors. Any use not specifically listed, as permitted, shall be considered to be prohibited, except as may be otherwise specified herein.
7. The Property Owner shall allow Village of Pewaukee representatives to inspect the premises following a 24-hour notice for the purposes of determining compliance with this approval.
8. The Petitioner and/or Property Owner shall obtain the appropriate permits from the Village of Pewaukee.
9. The Petitioner and/or Property Owner shall, on demand, reimburse the Village of Pewaukee for all costs and expenses of any type incurred by the Village in connection with the review and approval of this application, including, but not limited to, the cost of professional services incurred by the Village for the review and preparation of required documents, attendance at meetings or other related professional services as well as to enforce the conditions in this approval due to a violation of these conditions.

EXHIBIT:

- A. GIS Property Location Map
- B. Petitioner Application



SEWRPC, Waukesha County Land Information Office

0 15 30
ft
Scale: 1 in. = 51 ft.
1 : 623



DISCLAIMER: The Village of Pewaukee does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.

Village of Pewaukee
235 Hickory Street
Pewaukee, WI 53072
262-691-5660

Notes



CONDITIONAL USE GRANT APPLICATION FORM

235 Hickory St, Pewaukee WI 53072—villagehall@villageofpewaukee.gov—262-691-5660

PROPERTY / PROPERTY OWNER INFORMATION

Property Address: 616 Kopmeier Dr Tax Key: PWV 0894044
 Property Owner Name: Caven L & Annette J Boggess Zoning of Property: Legal Non Conforming

APPLICANT INFORMATION

Applicant Name: Caven L & Annette J Boggess Applicant Phone #: 262-720-6597
 Applicant Address: 616 Kopmeier Dr. Applicant Email: cavbogg@gmail.com
 Applicant Email: cavbogg@gmail.com

DESCRIPTION OF REQUEST (Please be thorough and attach additional pages if needed)

Business Name, If applicable: _____

FEIN, if applicable: _____

Description of Proposed Use (Restaurant/Retail/Office) PLEASE SEE ATTACHED

DIRECTIONS / NOTES—See page 4 for specific items required

NOTE: As this is for consultative purposes only, an engineering review will not take place at this time. An engineering review will take place if/when a formal application for approval is submitted.

Please include the following required items with this application:

- ☒ 1. One paper copy of the submittal, including plans/drawings/applicable attachments in a size 11x17 page size or less. Also provide one full size scale copy if larger than 11x17.
- ☒ 2. One digital copy of the submittal, including plans/drawings/applicable attachments. (USB/Email)
- ☒ 3. Completed Professional Services Reimbursement Form
- ☒ 4. Signatures on page 3
- ☐ 5. Conditional Use for Restaurant/Night Club must be attached if applicable

For Office Use Only

Staff Initials: JD

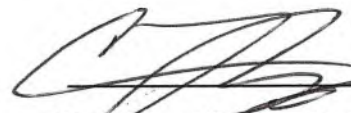
Date/Time Received: 10/17/25 3:15pm

Provide detailed information with your application that addresses the following:

1. Development Plans of the proposed use in sufficient detail to enable the Commission to evaluate your application such as architectural & landscape treatment, proper placement of the building(s) on the lot, traffic generation & circulation, provision for parking, site grading and drainage, exterior lighting, dumpster location and screening, outside storage of any sort, and manner of control devices (when necessary) to eliminate noise, dust, odor, smoke or other objectionable operating conditions & ensure general compatibility of the proposed use within its surroundings.
2. It is the responsibility of the applicant/owner to ensure that the proposed project complies with the Village's Land Development Code. It is also highly recommended that the applicant/owner review the Village's adopted [Land Use Plan](#) to ensure a proper understanding of the Village's future vision for the area in question.

Caven L & Annette J Boggess

Property Owner Printed Name


Signature of Property Owner
Annette Boggess
 10/17/25

The application will not be processed without the Owner's Signature regardless of who is listed as the Applicant. This signature authorizes the Village of Pewaukee to process the Conditional Use Approval Application proposed for my property and further authorizes the Village or its representatives to conduct reasonable and routine inspections of my property for the purposes of evaluating this application.

Caven L & Annette J Boggess

Applicant's Printed Name


Signature of Applicant
Annette Boggess
 10/17/25

Return the completed application forms along with the required attachments, \$190 application fee, and a digital copy of the submittal (plus paper copies if required) to Pewaukee Village Hall, 235 Hickory Street, Pewaukee, WI 53072.

If you have any questions, please call Village Hall at (262) 691-5660.

**Caven & Annette Boggess
616 Kopmeier Dr.
Pewaukee, WI 53072**

**Conditional Use Grant Request
for
Approval of Garage/Living Space Addition to Current Residence**

DATE: October 17, 2025

TO: Village Planning Commission

We are requesting a Conditional Use Grant to add a garage with living space and full bath, above the garage, to our current residence located at 616 Kopmeier Dr., Pewaukee, WI 53072.

Our request is two-fold. 1) We would like to use our own property for parking our vehicles inside rather than parking outside on the Canadian Pacific Railroad property. 2) Since we would add a garage, we would also like to add approximately 600 sq. ft. of living space and a full bath above the garage.

- 1) We currently park across the street from our residence in an area that is owned by the Canadian Pacific Railroad. We have parked there since the purchase of our home in April of 2015. While they have been gracious enough to allow us to use their space and have not requested us to no longer use it, they recently added an additional structure to the area. If they would need to add more to that area, we or any future owner could be requested by the railroad to no longer do so. If that were to happen, it would cause great distress to us and/or any future owner as there would no longer be a location to park our vehicles.
- 2) We would add approximately 600 sq. ft. to our current home with the living space and full bath built above the garage.

In support of this request, please find attached an architectural drawing of the floor plan of both the garage, living space and the full bath. This drawing displays all dimensions and lot lines as well.

Additionally, the siding and trim material and color as well as the roof material and color would be the same as our current house (see attached). This is white vinyl with black wood trim and a black asphalt roof. This would provide aesthetics and uniformity throughout the addition. We would also add landscaping to the east side of the garage for beautification and curb appeal.

In support of this request, I believe our lot is considered a legal non-conforming lot. The front of our proposed garage would be approximately 13' 6" from the edge of the road, the same as at least two neighbors being at 600 & 606 Kopmeier Dr. Another example is the house immediately next to us, 620 Kopmeier Dr. where front of the house sits approximately 11ft. from the edge of the road. Please see the attached plat showing these examples as well as the balance of Kopmeier Dr. East of us. Additionally, while we have the railroad tracks directly across the street, we are well outside of the railroads 50 foot Right of Way, from the center of the tracks. Please see attached in support of this.

We trust this information is inclusive enough to support our request, but ask if any additional information is needed, please advise accordingly.

We thank you in advance for your consideration look forward to your favorable decision allowing us to move forward with our desired plans.

All the Best,

A handwritten signature in dark ink, consisting of a large, stylized 'C' followed by the name 'Annette' in a cursive script.

Caven & Annette

Caven & Annette Boggess
616 Kopmeier Dr.
Pewaukee, WI 53072
262-720-6597



TDI ASSOCIATES, INC.
ARCHITECTS, ENGINEERS, PLANNERS

NO 82210 JENKINS DRIVE, SUITE 104
WALKESHA, WISCONSIN 53186
PHONE 262-499-2500 FAX 262-499-2511

PROPOSED ADDITION
CAVEN & NETTIE BOGGESS
616 KOPPEL DRIVE
VILLAGE, WISCONSIN

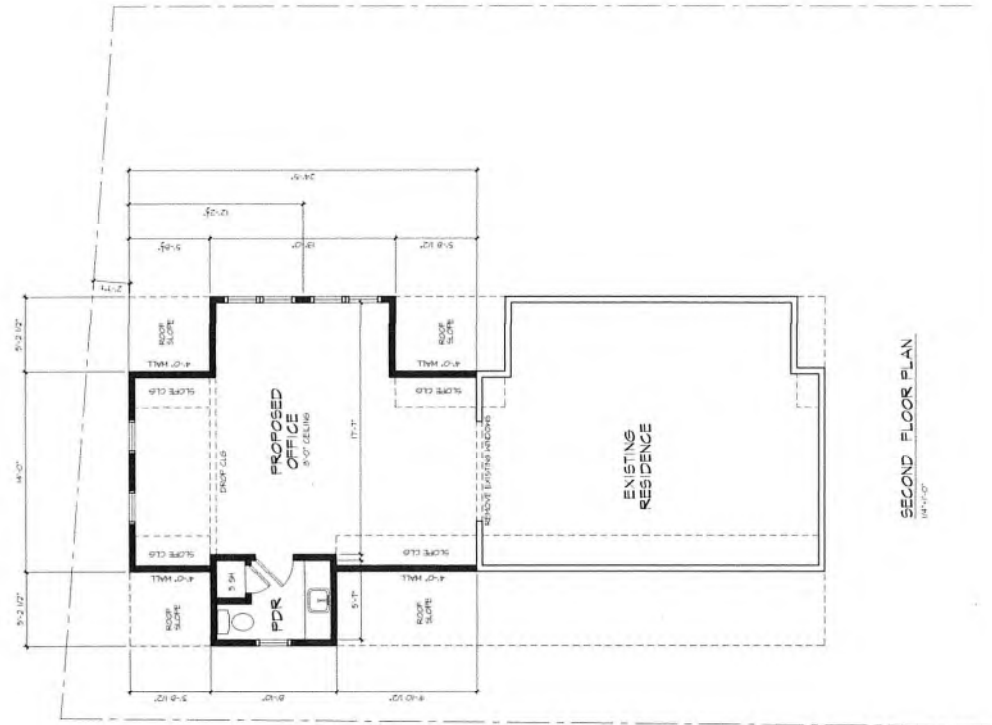
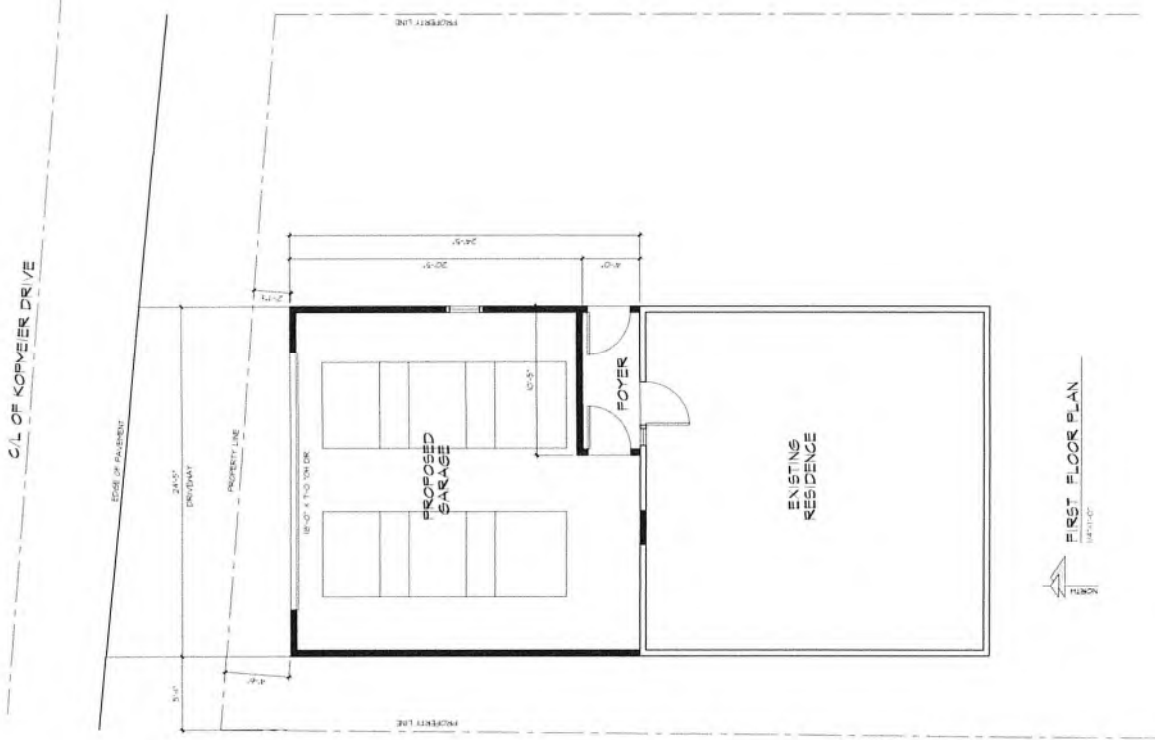
TDI ASSOCIATES, INC.
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OWNERSHIP OF DOCUMENTS
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Sheet Title
FIRST FLOOR
SECOND FLOOR
PLANS

Issued For: _____ Date: _____

Date: JUNE 4, 2004
Job No.: 16209
Drawn By: LS
Sheet No.: A1.1



X = PROPERTIES SIMILAR DISTANCE TO ROAD & PROPERTY LINES

$XY = 600 + 606$ $XYX = 620$ FRONT of HOUSE

Tools

Tool Labels



Parcel_...

Pg 2





616 Kopmeier Dr

10 m

3D

616 Kopmeier Dr

C

Safari

10:21

164

TO: Village of Pewaukee Plan Commission
CC: Matt Heiser – Village Administrator, Jenna Peter - Clerk
FROM: Mark Lyons, Planning Consultant
RPT DATE: October 31, 2025
MTG DATE: November 13, 2025
RE: Pewaukee Self Storage –PUD amendment and Business / Site Plan of Operations amendment.

BACKGROUND:

1. Petitioner: Pewaukee Self Storage
2. Property Owner: Pewaukee Self Storage LLC
3. Location/Address: 229Sussex St.
4. Tax Key Number: PWV0898999001
5. Area: ~15.786 AC
6. Existing Zoning: B-5 Light Industrial District with a Planned Development Overlay
7. Proposed Zoning: N/A
8. Future Land Use: Community Commercial

OVERVIEW:

The Petitioners are requesting approval of Business / Site Plan of Operation amendment and PUD amendment to modify the approved use of the original PUD. The property was approved for a PUD via ordinance 2022-04. That approval included condition 1(c) – Principal Use: "Cold, Dry, Personal Indoor Storage". Since that time, the applicant has constructed a majority of the original building. Buildings 6-8 as identified in the original PUD have not been constructed. The applicant is now seeking an amendment to construct building 6-8 as climate-controlled drive-up self-storage units. The applicant discussed the potential change with Plan Commission at the August 14, 2025 meeting.

SUBMITTAL:

The enclosed submittal includes the Business Plan of Operation application, PUD narrative and associated site documents.

PLANNER COMMENTS:

1. **Zoning Requirements:** Section 40.366 outline changes or additions to an approved Planned Unit Development PUD. This includes submittal to Plan Commission and a Public Hearing with the Village Board. A copy of the draft PUD ordinance is included in this packet for Plan Commissions review and consideration.
2. **Plan of Operations:** The applicant has proposed no changes to the approved Plan of Operations outside of modifying the use of Dry Storage to Climate-controlled. No change in employees, hours of operation or other aspects are proposed.

STAFF RECOMMENDATION:

Depending on confirmation by the Village of Pewaukee Plan Commission of the above-described comments, the Village of Pewaukee Plan Commission may take the following actions listed below.

The Village of Pewaukee Plan Commission Approves the Business / Site Plan of Operation amendment for Pewaukee Self Storage LLC for the property located at **229Sussex St.** , subject to the following conditions:

1. That all conditions made by the Plan Commission at their meeting of November 13, 2025 are met.
2. This approval is subject to the Petitioner complying at all times with the plans and documents presented to the Village of Pewaukee Plan Commission.
3. Approval of the Business / Site Plan of Operation amendment is subject to final approval by the Village Board of the Planned Unit Development amendment to Climate-controlled drive-up self-storage.
4. The Petitioner shall satisfy all comments, conditions, and concerns of the Village of Pewaukee Plan Commission and Board, Village Engineer and Village Planner for the site plan, and other documentation.
5. Building Inspection. The Petitioner and/or Property Owner shall comply with any and all recommendations by the Village Building Inspector (or designee) prior to the issuance of an occupancy & use permit for the subject property. Approval by the Village Building Inspector, if granted, shall be solely for the benefit of the Village of Pewaukee, and shall not be relied upon by the petitioner or others as proof of structural integrity or safety of any structure on the property, or as proof of compliance with any particular construction standard that would apply to new construction. The petitioner shall independently determine the suitability of all structures on the property for the petitioner's intended uses.
6. Fire Inspection. The Petitioner and/or Property Owner shall comply with any and all recommendations by the Village of Pewaukee Fire Department Chief (or designee) prior to the issuance of an occupancy & use permit for the subject property. Approval by the Village of Pewaukee Fire Department Chief (or designee), if granted, shall be solely for the benefit of the Village of Pewaukee, and shall not be relied upon by the petitioner or others as proof of fire safety of any structure on the property, or as proof of compliance with any particular fire safety standard that would apply to new construction. The petitioner shall independently determine the fire safety and suitability of all structures on the property for the petitioner's intended uses.
7. This approval is granted for the express conditions stated herein. Changes or alterations including, but not limited to, a change in use, premises, lands, or ownership of the property in question shall require a new Business Site Plan approval with all the zoning procedures at the time being followed. The allowed uses of the property must at no time be hazardous, harmful, obnoxious, offensive, or a nuisance by reasons of appearance, noise, dust, smoke, odor, or other similar factors. Any use not specifically listed, as permitted, shall be considered to be prohibited, except as may be otherwise specified herein.
8. The Property Owner shall keep the exterior condition of the premises in a neat and orderly condition at all times so the premises will not detract from neighboring premises. There shall be no outside storage of junk, debris, construction material, or other refuse materials within the property and all such materials shall be disposed of promptly and properly.
9. The Property Owner shall allow Village of Pewaukee representatives to inspect the premises following a 24-hour notice for the purposes of determining compliance with this approval.
10. The Petitioner and/or Property Owner shall obtain the appropriate permits from the Village of Pewaukee.
11. The Petitioner and/or Property Owner shall, on demand, reimburse the Village of Pewaukee for all costs and expenses of any type incurred by the Village in connection with the review and approval of this

application, including, but not limited to, the cost of professional services incurred by the Village for the review and preparation of required documents, attendance at meetings or other related professional services as well as to enforce the conditions in this approval due to a violation of these conditions.

EXHIBIT:

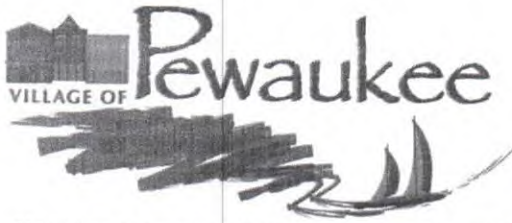
- A. GIS Property Location Map
- B. Petitioner Applications.



229 Sussex Zoning Map



Notes	DISCLAIMER: The Village of Pewaukee does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives. 0 100 200 ft Scale: 1 in. = 448 ft. 1 : 5380 Village of Pewaukee 235 Hickory Street Pewaukee, WI 53072 262-691-5660
--------------	---



Revised 12/12/23

Business Plan of Operation Application

Office use only:

Zoning Admin Approval: _____ Date _____

Planner Approval: _____ Date _____

235 Hickory St, Pewaukee WI 53072 - villagehall@villageofpewaukee.gov - 262-691-5660

BUSINESS & PROPERTY

Tax Key No. PWV

FEIN#: _____

Business Name: Pewaukee Self Storage

Current Zoning: _____

Business Address: 229 Sussex St, Pewaukee, WI 53072, Pewaukee, WI 53072Mailing Address: 229 Sussex St, Pewaukee, WI 53072Email: patrick@newcoastre.comPhone: 248-250-1151

TENANT INFORMATION

Tenant Name: n/aFEIN#: n/aMailing Address: n/aEmail: n/a

List any Special Equipment/Facilities/Requirements we need to know about:

n/a

BUSINESS INFORMATION

Description of Business: Self Storage / Client Controlled Self StorageType of business: ☐ Retail ☐ Office ☒ Warehouse/Storage ☐ Industrial ☐ Institutional ☐ Wholesale ☐ Other _____New Use? ☐ YES ☒ NO or Expanded Use? ☐ YES ☐ NO Operation Days and Hours: 9-5 7 days a weekMaximum Number of Employees: Full-time 0 Part-time 0

Expected Customers per Day: _____ Delivery Trucks per day: _____ Vehicles per day: _____

Available Parking Spaces: _____ Loading Spaces: _____ Overnight Parking: ☐ YES ☒ NOOutdoor Storage: ☐ YES ☒ NO - If yes, list type: _____Sewage Disposal: ☐ Public Sewer ☐ Septic Tank / Storm Water Retention/Detention? ☒ YES ☐ NOWater Supply by: ☐ Public Water ☐ Main ☐ Private Well ☐ Other _____Solid Waste ☐ (garbage) Disposal by: _____

List Where any Flammable Substances are stored: _____

Applicant and Property Owner Signature

Patrick McEl
Applicant Signature & Print Name

&

Patrick McEl
Owner Signature & Print Name09/16/25
Date

Send to Building Services _____

Send to Clerk _____

Save to Property File _____

Commercial & Industrial businesses are required to fill out the below form. The discharge produced must comply with all conditions of the City of Brookfield Municipal Code Chapter 13.20 at www.cityofbrookfield.com

Notice of Intent to Discharge Wastewater

Business Name: Pewaukee Self Storage

Business Address: 229 Sussex St, Pewaukee, WI 53072, Pewaukee, WI 53072

Mailing Address: 229 Sussex St, Pewaukee, WI 53072

Company Representative: Patrick McGill Title: _____

Phone: 248-250-1151 Email: patrick@newcoastre.com

Description of business:

We are looking to alter the PUD for (3) of the future self storage building in phase #2 to be Climate Controlled Self Storage Also to raise the doors to 10'8"

Number of Employees: Full-time 0 Part-time 0

Operation Days and Hours: 9-5 # of Shifts: _____

SIC OR NAICS CODE: _____

Reason for filing survery:

- ☐ Change of occupancy
- ☐ Construction of a new facility
- ☐ Proposing to discharge from a facility where there is currently no discharge or adding a new sewer connection
- ☐ Significantly Altering the volume or characteristics of an existing discharge
- ☐ Applying for reissuance of an existing discharge permit
- ☐ Per request by municipality—discharge ongoing with no expected changes
- ☐ Update previous information

Date when new or altered discharge is expected to begin No Change

Estimated sanitary sewer discharge (report gallons/day):

	Current:	Proposed:
Process wastewater	<u>No Change</u>	<u>No Change</u>
Sanitary wastewater	<u>No Change</u>	<u>No Change</u>
Cooling water	<u>No Change</u>	<u>No Change</u>

- Note: A review of quarterly water usage bills may be helpful in assigning flow values. Total gal/day (for all uses) = qtr usage (in 1000 gallons) x 1000/# operating days in qtr. This daily total is then distributed into estimated gal/day of process, sanitary, and/or cooling. Process wastewater is any discharge other than sanitary, non-contact cooling or boiler blowdown water. Sanitary flow may be estimated as 20 gal/day/employee.

Use this space to describe the process that will result in the discharge of commercial/industrial process wastewater:

No Change

List chemicals/pollutants expected to be present in your discharge:

No Change

Describe any wastewater pretreatment and/or facilities to be used:

No Change

List toxic organic compounds (solvents, flammable compounds etc):

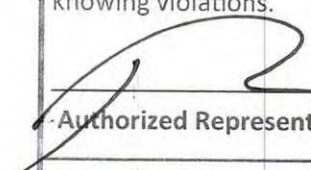
No Change

How are these toxic organic compounds disposed of:

No Change

Agreement to Abide

I Certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is to the best of my knowledge and belief true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.


Authorized Representative Signature

09/16/25

Date

Patrick McGill

Printed Name

Comments:

We are looing to alter the PUD for (3) of the future self storage building in phase #2 to be Climate Controlled Self Storage Also to raise the doors to 10'8")

Staff comments:

[DATE], 2025

Village of Pewaukee Plan Commission
Waukesha County, Wisconsin

Re: Pewaukee Self Storage
229 Sussex St
Pewaukee, WI 53072

Dear Commissioners:

We respectfully request an amendment to the existing approvals for the storage facility located at 229 Sussex St, Pewaukee, WI, 53072 (the “**Property**”), The site is currently entitled for a non-climate-controlled drive-up self-storage expansion of 24,200 square feet. We propose to deliver a professionally managed, 24,200 square foot, climate-controlled drive-up self-storage facility in its place. The updated design better serves local residents, small businesses, and offers a premium product that will better suit the community and is preferable for the Property’s neighbors.

Local residents and small businesses increasingly rely on climate-stabilized storage for documents, inventory, and household goods that are sensitive to temperature and humidity. Given Pewaukee’s seasonal swings in temperature, this can be crucial depending on the items stored. Stable temperature and humidity supports local needs—records, medical/education files, photo/archival materials, musical instruments, e-commerce inventory, and electronics—all common to Pewaukee households and small firms.

The local market is currently undersupplied with climate-controlled storage. Storage facilities typically pull from a 5-mile radius. Within a 5-mile radius of the Property, there is currently 6.6 SF/capita of non-climate-controlled storage, but only 1.5 SF/capita of climate-controlled storage. Adding additional climate-controlled options in the market will create additional choice for consumers and lower costs.

The change in use should have no impact on surrounding properties relative to what is already approved. Self-storage is among the lowest-intensity commercial uses. The expansion will include controlled access, surveillance, and professional management, all of which reduce security risks and promote public safety. Clients willing to pay for the premium product are typically a more desirable tenant for the facility with higher incomes and fewer disturbances.

Critically, the proposed amendment will almost exactly mirror the existing approval from a site layout, landscaping, and façade perspective. The change in use would be almost imperceptible.

We respectfully request that the Village amend the prior approvals to allow a climate-controlled self-storage expansion in lieu of the previously approved non-climate-controlled expansion. We

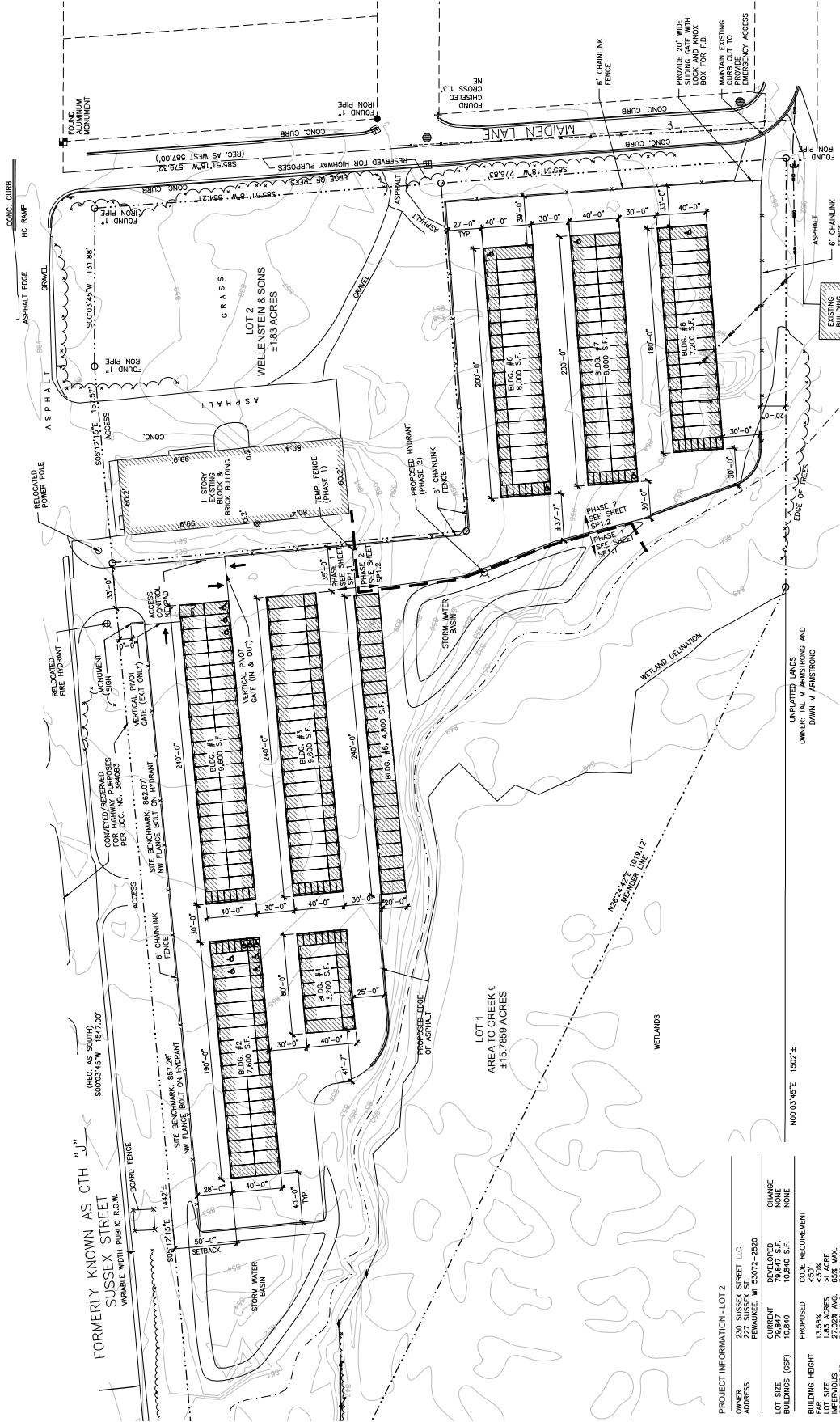
SITE PLAN

Drawn by	Checked by
AMP	ALS

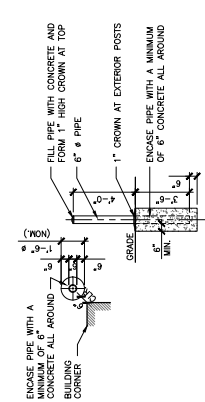
Revisions	No.	Date	Description
	03.21.22		Permit Set

Sheet No.
SP1.0

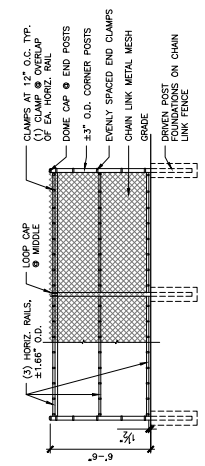
2022-03-21 PERMIT SET



SITE PLAN
SCALE: 1"=40'-0" (22x34); 1"=80'-0" (11x17)



TYPICAL BOLLARD DETAIL
SCALE: 1/4"=1'-0" (22x34); 1/8"=1'-0" (11x17)



TYPICAL FENCE DETAIL
SCALE: 1/4"=1'-0" (22x34); 1/8"=1'-0" (11x17)

PROJECT INFORMATION - LOT 2			
OWNER	230 SUSSEX STREET LLC		
ADDRESS	230 SUSSEX STREET PEWAUKEE, WI 53072-2520		
LOT SIZE	CURRENT 79,847	DEVELOPED 79,847 S.F.	CHANGE NONE
BUILDINGS (GSF)	10,640	10,640 S.F.	NONE
BUILDING HEIGHT	13.58%		
PAR SITE	1.82 ACRES	<30%	
GREEN SPACE	72.58% AVG.	35% MIN.	
PROJECT INFORMATION - LOT 1 (PHASE 1 & 2)			
OWNER	230 SUSSEX STREET LLC		
ADDRESS	230 SUSSEX STREET PEWAUKEE, WI 53072-2520		
LOT SIZE	CURRENT 897,635	DEVELOPED 897,635 S.F.	CHANGE NONE
BUILDINGS (GSF)	10,640	10,640 S.F.	NONE
BUILDING HEIGHT	13.58%		
PAR SITE	1.82 ACRES	<30%	
GREEN SPACE	72.58% AVG.	35% MIN.	
ACCESS HOURS:	7 DAYS PER WEEK		
SECURE SITE WITH ACCESS CONTROL			
EMPLOYEES:	NO FULL TIME EMPLOYEES ON SITE		
PARKING:	NONE (UNOCCUPIED BUILDINGS)		

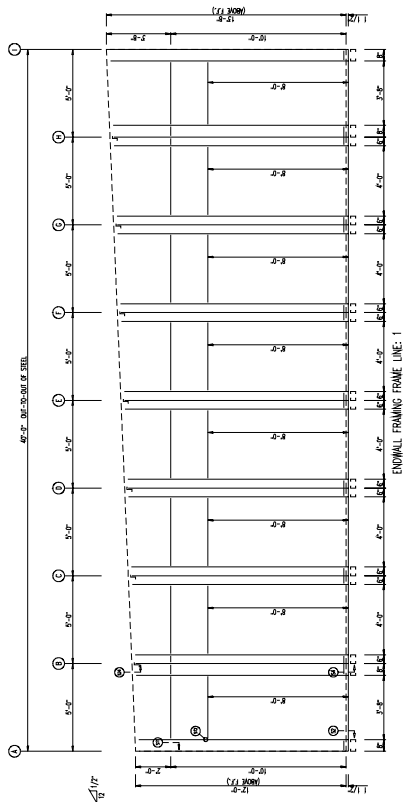
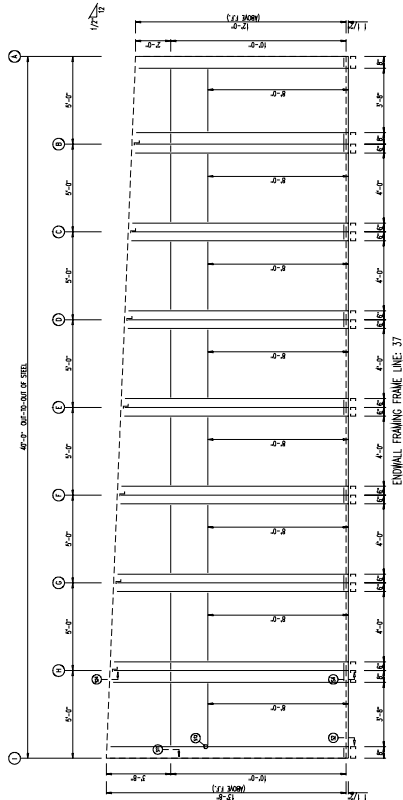
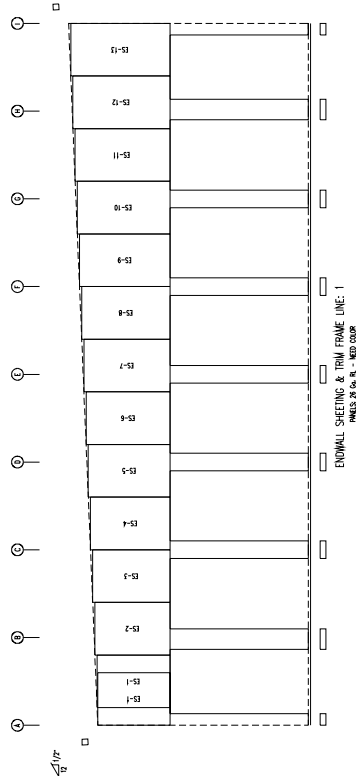
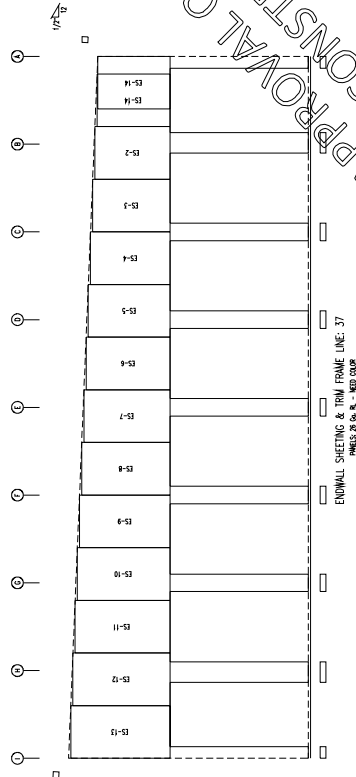
Wasatch Structures
409 West Industrial Drive #2
Provo, UT 84602
Phone: 801-794-0888

PROJECT: Pewaukee, WI
CITY: Pewaukee
STATE: WI

SIZE: 40.0 x 180.0 x 12.0 x 13.6

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APPROVAL		PRINTS ISSUED FOR	DATE
			9/17/25



PRINTS ISSUED FOR	APPROVAL
BY	
DATE	9/17/25

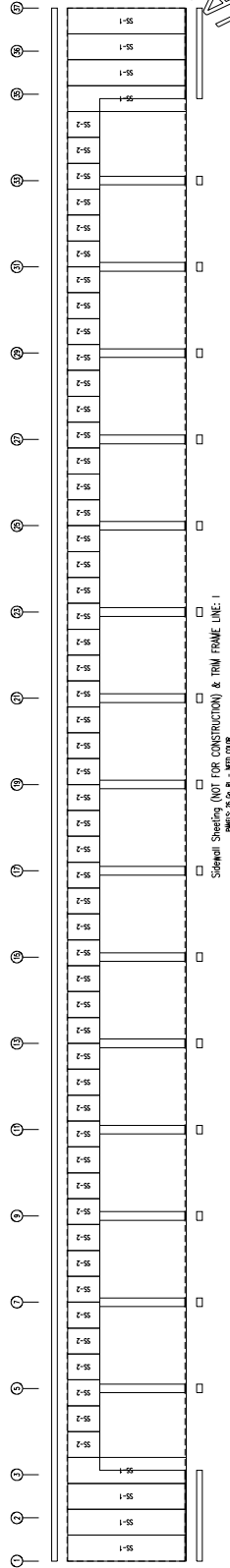
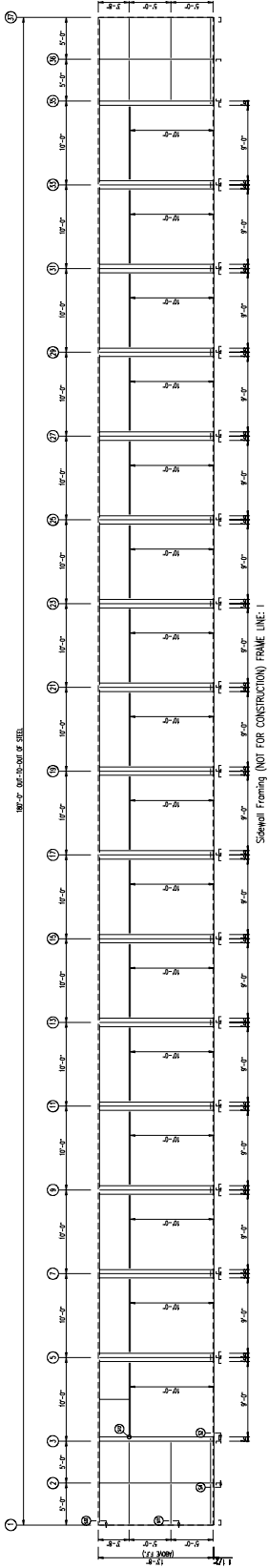
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PROJECT: Pewaukee, WI
CITY: Pewaukee
STATE: WI
SIZE: 40.0 x 180.0 x 12.0 x 13.6

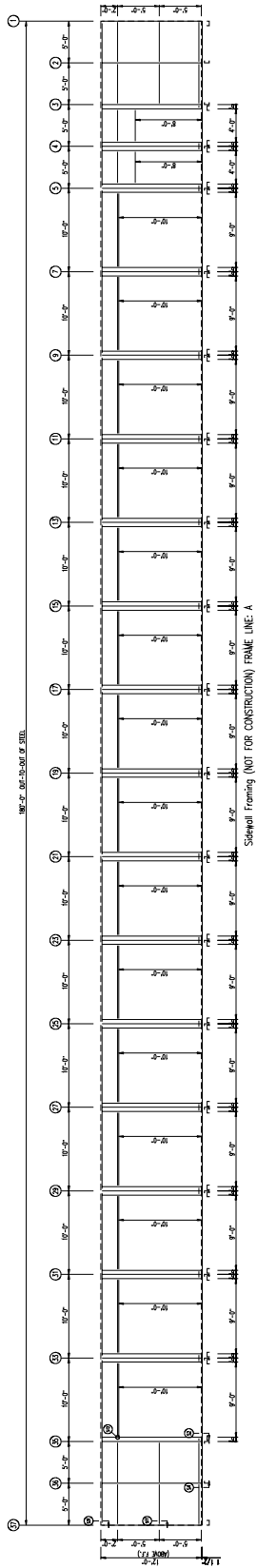
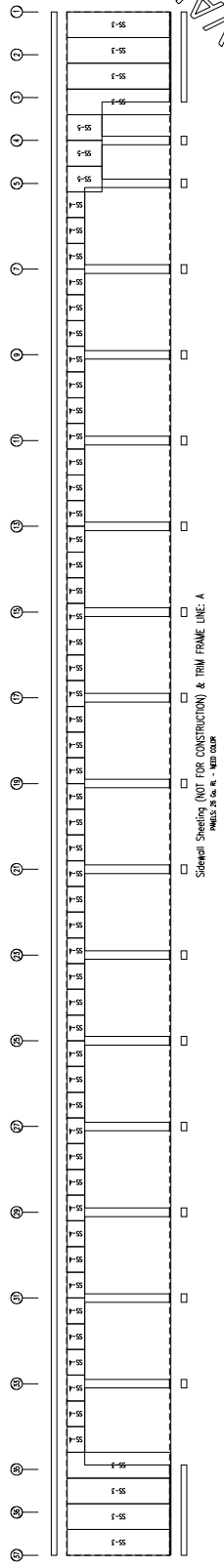
Wasatch Structures
409 West Industrial Drive #2
Pleasant Grove, UT 84062
Phone: 801-794-0888

JOB ID: 885569
Sheet
A3

FOR APPROVAL ONLY
NOT FOR CONSTRUCTION



FOR APPROVAL ONLY
NOT FOR CONSTRUCTION



PROJECT: Pewaukee, WI		STATE: WI	
CITY: Pewaukee			
SIZE: 40.0 x 180.0 x 12.0 x 13.6			
CONFIDENTIAL AND PROPRIETARY INFORMATION			
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PRINTS ISSUED FOR: APPROVAL			
DATE: 9/17/25			

Sheet
A4

Wasatch Structures
409 West Industrial Drive #2
Provo, UT 84602
Phone: 801-794-0888

JOB ID: 885569

PRINTS ISSUED FOR		APPROVAL
DATE	BY	
9/17/25		

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PROJECT: Pewaukee, WI	CITY: Pewaukee	STATE: WI
SIZE: 40.0 x 180.0 x 12.0 x 13.6		

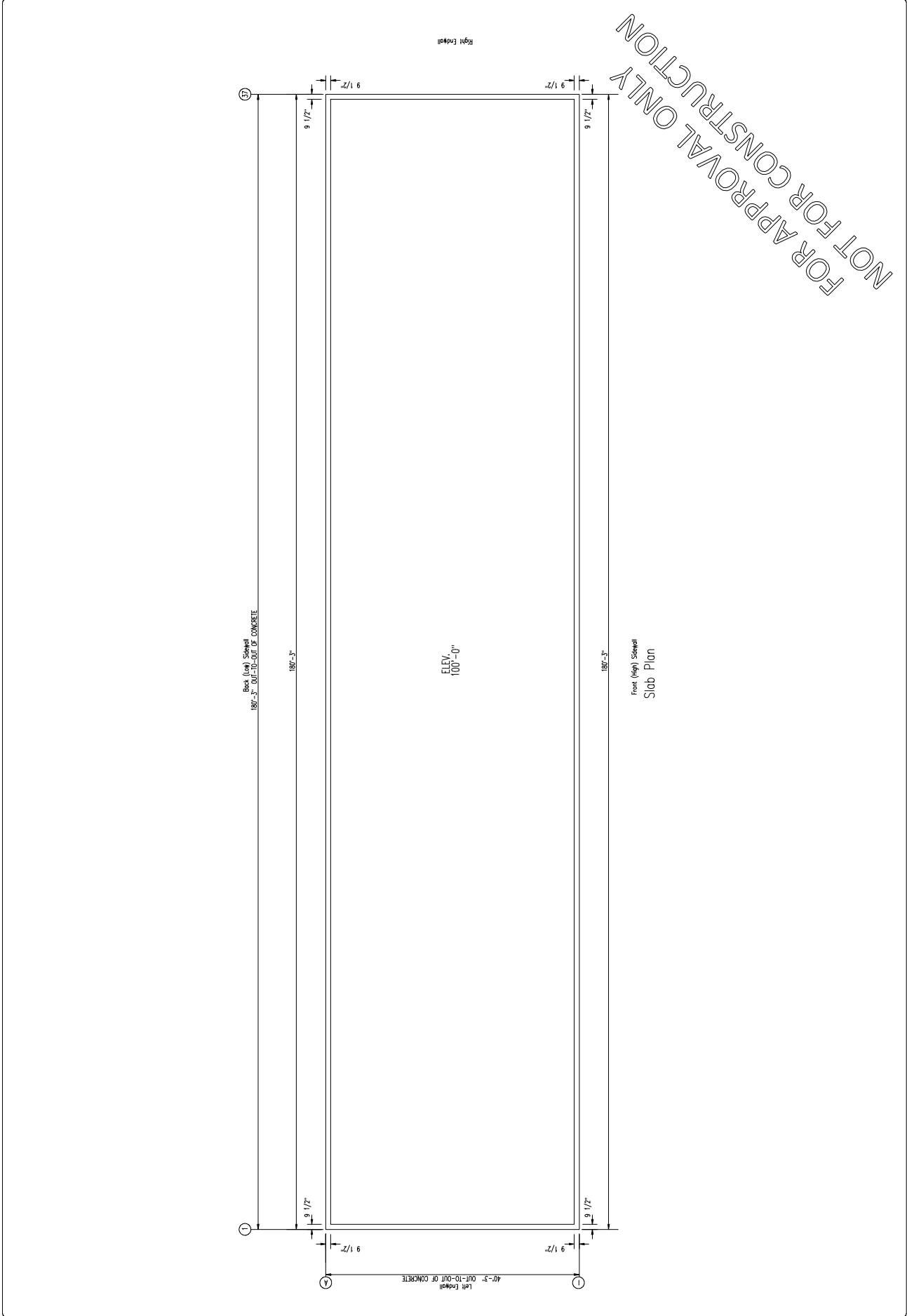
Wasatch Structures

409 West Industrial Drive #2

Pewaukee, WI 53072

Phone: 801-794-0400

Job ID: 88598
Sheet
A5

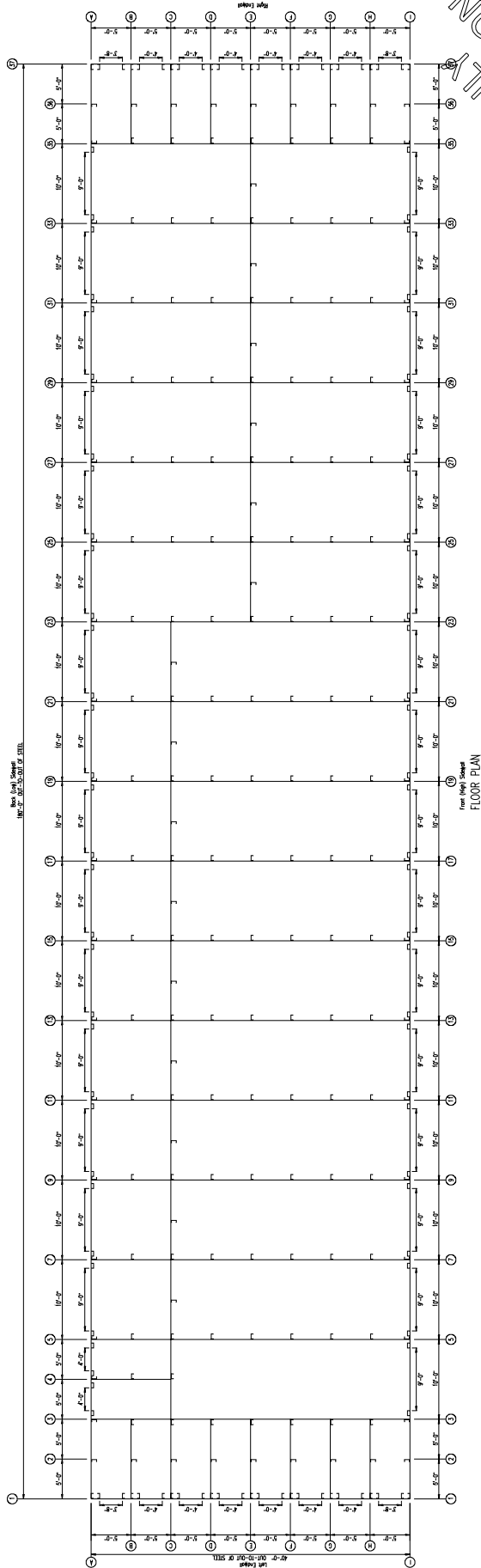


Wasatch Structures
409 West Industrial Drive #2
Provo, UT 84602
Phone: 801-794-0888

PROJECT: Pewaukee, WI
SIZE: 40.0 x 180.0 x 12.0 x 13.6
CITY: Pewaukee
STATE: WI

CONFIDENTIAL AND PROPRIETARY INFORMATION
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PRINTS ISSUED FOR		APPROVAL
DATE	BY	
9/17/25		



Wasatch Structures
400 West Industrial Drive #2
Pleasant Grove, UT 84062
Phone: 801-786-6888

PROJECT: Pewaukee, WI	SIZE: 40.0 x 180.0	CITY: Pewaukee	STATE: WI
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三: $40.0 \times 180.0 \times 12.0 \times 13.6$

Pewaukee

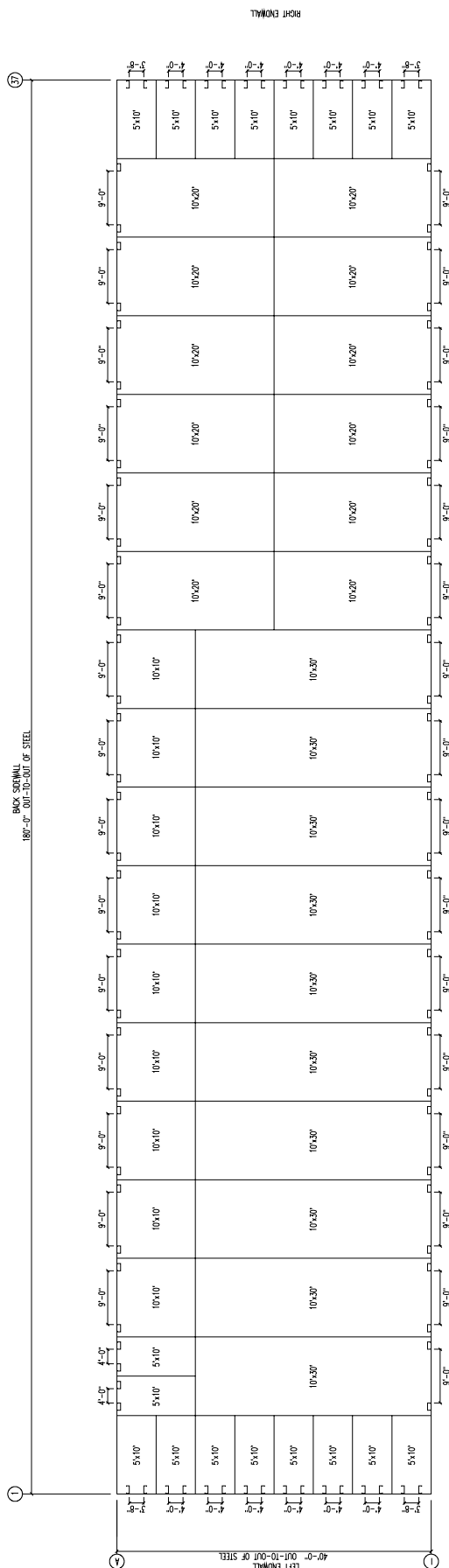
STATE: WI

CONFIDENTIAL AND PROPRIETARY INFORMATION

DATE	BY	PRINTS ISSUED FOR
9/17/26		APPROVAL

NOT FOR APPROVAL ONLY
FOR CONSTRUCTION

FRONT SIDEWALL
FLOOR PLAN



ORDINANCE NO. 2025- **ORDINANCE TO AMEND THE PLANNED UNIT DEVELOPMENT OVERLAY
DISTRICT FOR THE DEVELOPMENT REFERRED TO AS SUSSEX STREET SELF
STORAGE (ORD 2022-04).**

The Village Board of the Village of Pewaukee, Waukesha County, Wisconsin, do ordain as follows:

SECTION I

WHEREAS, the Village of Pewaukee allows Planned Unit Developments (PUD's) pursuant to Division 18 of Chapter 40 of the Municipal Code of the Village of Pewaukee and amendments to those PUDs pursuant to Section 40.366 of such Code; and

WHEREAS, the lands/development known as Lot #1 of Certified Survey Map (CSM) #12288 recorded in the Waukesha County Register of Deeds office are presently zoned B-5 Light Industrial District with a Planned Unit Development Overlay; and

WHEREAS, the Village has received a petition from Pewaukee Self Storage LLC, hereinafter referred to as the Petitioner, for amending an existing PUD originally referred to as the Sussex Street Self Storage PUD, created by Ordinance 2022-04, which PUD, amongst other conditions and restrictions, limited the principal the use of the development to only a cold, dry personal self-storage type use on Lot #1 of CSM #12288; and

WHEREAS, the Petitioner has presented evidence to the Village, including, but not limited to, a Planned Unit Development amendment petition demonstrating the need for the proposed amendment; and

WHEREAS, the Petitioner acknowledges that, due its unique characteristics, the proposed development site had benefited from the flexibility in development design provided by a PUD overlay district, but further flexibility as to the approved use is required to facilitate timely completion of the development; and

WHEREAS, the Village Planning Commission did, at a meeting on November 13, 2025, review this proposed planned unit development amendment and made its recommendation to the Village Board including that (1) the proposed development site continues to present unique characteristics which materially limit the potential development options for this site; (2) the proposed development site would continue to benefit from flexibility of overall development design, providing benefit to both petitioner and the Village; and (3) that this PUD should be amended to, amongst other conditions and restrictions, revise the principal use allowed in the development to *only* "Cold, Dry, Personal Indoor Storage" in *Phase 1* and either "Cold, Dry,

Personal Indoor Storage” or “Climate-controlled drive-up self-storage” in **Phase 2** Lot #1 of CSM No. #12288, a 15.82-acre parcel located at/near the northwest corner of Sussex Street and Maiden Lane in the Village of Pewaukee ; and (4) such amendment is consistent with and does not materially alter the bases for approval of the original PUD considered by the Village Planning Commission and Village Board; and

WHEREAS, this matter was the subject of a public hearing held before the Village Board on November 18, 2025; and

WHEREAS, the procedure for the amending of a PUD Overlay District has been followed in compliance with Division 18 of Chapter 40 of the Village of Pewaukee Municipal Code.

SECTION II

The Village Board of the Village of Pewaukee, having reviewed the petition for amending Ordinance 2022-04, a PUD for Lot # 1 of CSM No. #12288, a 15.82-acre parcel located at/near the northwest corner of Sussex Street and Maiden Lane in the Village of Pewaukee to B-5 with a PUD Overlay District, and having considered the recommendation of the Plan Commission as well as the comments of the public made at the public hearing which occurred on November 18, 2025:

NOW THEREFORE, the Village Board hereby finds that the proposed amendment of Ordinance 2022-04, a PUD for Lot # 1 of CSM No. #12288, a 15.82-acre parcel located at/near the northwest corner of Sussex Street and Maiden Lane in the Village of Pewaukee, satisfies the conditions of Section 40.365 and 40.366 of the Village of Pewaukee Municipal Code, as the proposed modification to principal use is consistent with the terms and conditions of the PUD as originally approved. Therefore, Ordinance 2022-04, a PUD encompassing CSM No. #12288, a 15.82-acre parcel located at/near the northwest corner of Sussex Street and Maiden Lane in the Village of Pewaukee is amended as follows:

(c) Principal Use: Only “Cold, Dry, Personal Indoor Storage” is permitted in **Phase 1** and either “Cold, Dry, Personal Indoor Storage” or “Climate-controlled drive-up self-storage” is permitted in **Phase 2** Lot # 1 of CSM No#12288, a 15.82-acre parcel located at/near the northwest corner of Sussex Street and Maiden Lane in the Village of Pewaukee. “Cold, Dry, Personal Indoor Storage” is defined as follows: A building or group of buildings in a controlled access and fenced compound that contains varying sizes of individual, compartmentalized, and controlled access stalls, lockers, or units for the storage of customers’ goods or ware, where such stalls, lockers, or units are not equipped with or have access to a climate control system. The use of any such stall, locker, or unit for any independent residential, commercial, or industrial purposes is strictly prohibited. “Climate-controlled drive-up self-storage” is defined as follows: A building or group of buildings in a controlled access and fenced compound that contains varying sizes of individual, compartmentalized, and controlled access stalls, lockers, or units for the storage of customer’s goods or ware, where such stalls, lockers or units are equipped with or have access to a climate control system. The use of any such stall, locker, or unit for any independent residential, commercial, or industrial purposes is strictly prohibited.

2. Petitioners shall be responsible for and shall reimburse the Village for all legal, planning, engineering, inspection, and construction related fees and costs and any and all other costs and expenses incurred by the Village related to this PUD amendment and the invoice for such services shall be paid within 30 days of receipt of the invoice for these charges.
3. Existing Conditions. Petitioner agrees to adhere to all other PUD conditions and restrictions as approved by ORD 2022-04.
5. Any and all changes to this use and/or the related development plans not heretofore approved and requiring approval by the Village Plan Commission and/or Village Board under applicable Village ordinances, the PUD, and/or any development agreement, and/or including but not limited to site, structure, signage, lighting, and landscaping plans for instance, shall require further approval by the Village Plan Commission and/or the Village Board as the case may be.
6. Termination. If a building permit for Phase 2 of the development (as defined in the plan documents) is not issued within one year of the approval of this PUD ordinance, this Amendment shall expire and become null and void. The underlying zoning district shall remain in force.

If the Petitioner requires an extension of these time limits, any extension shall be requested by the Petitioner, in writing, explaining the hardship and sent to the Village Administrator not less than 60 days prior to the expiration of this Amendment. The Village Board may allow extensions in the sole exercise of its discretion.
7. Amendment. Changes, amendments, or additions to this PUD ordinance may only be permitted pursuant to the Village of Pewaukee Municipal Code Section 40.366.

SECTION III

The Village President and Village Clerk are authorized to execute this ordinance on behalf of the Village of Pewaukee.

This ordinance shall take effect upon passage and publication as required by law, and the Village Clerk shall so amend the Code of Ordinances of the Village of Pewaukee, and shall indicate the date and number of this amending ordinance therein.

SECTION IV

The several sections of this ordinance are declared to be severable. If any section shall be declared by a decision of a court of competent jurisdiction to be invalid, such decision shall not affect the validity of the other portions of the ordinance.

All ordinances or parts of ordinances contravening the terms and conditions of this ordinance are hereby to that extent repealed.

PASSED AND ADOPTED by the Village Board this _____ day of _____, 2025.

APPROVED:

Jeff Knutson, Village of Pewaukee President

Countersigned:

Jenna Peter, Village of Pewaukee Clerk

TO: Village of Pewaukee Plan Commission
CC: Matt Heiser – Village Administrator, Jenna Peter - Clerk
FROM: Mark Lyons, Village Planning Consultant
RPT DATE: October 31, 2025
MTG DATE: November 13, 2025
RE: Netties Irish Pub – Business / Site Plan of Operations amendment

BACKGROUND:

1. Petitioner: Scott Schaefer
2. Property Owner: Harry's Hardware LLC, ATTN Scott Schaefer
3. Location/Address: 733 W. Wisconsin Avenue
4. Tax Key Number: PWV 0894997
5. Area: 2.629 AC
6. Existing Zoning: B-1 Community Business
7. Proposed Zoning: N/A
8. Future Land Use: Community Commercial

OVERVIEW:

The Petitioners are requesting approval of a Business / Site Plan of Operation amendment to construct a permanent covered stage on the current deck.

SUBMITTAL:

The enclosed submittal includes the application and site plan.

PLANNER COMMENTS:

1. **Site Plan.** The site plan indicates the applicant is proposed to construct a 384 sq. ft. coverage stage at the northwest corner of the existing deck. In addition to the covered stage area, the applicant is also proposed a new ADA accessible ramp be constructed to provide ADA access to the proposed covered stage. No other site modifications are proposed at this time.
2. **Plan of Operation.** The applicant has not proposed any changes to existing plan of operations currently. The only proposed change to the site is the inclusion of the covered stage. The applicant anticipates the stage being used as part of its current Thursday night music events.

STAFF RECOMMENDATION:

Depending on confirmation by the Village of Pewaukee Plan Commission of the above-described comments, the Village of Pewaukee Plan Commission may take the following actions listed below.

SITE PLAN AND PLAN OF OPERATIONS

The Village of Pewaukee Plan Commission **Approves** the Site Plan amendment for a covered stage within the footprint of the existing deck area for the property located at 733 W. Wisconsin Avenue (PWV 0894997), subject to the following conditions:

1. That all conditions made by the Plan Commission at their meeting of November 13, 2025 are met.
2. Covered stage shall be located within the footprint of the existing deck and comply with the Site Plan provided as part of this amendment.
3. This Site Plan/Plan of Operation approval is subject to the Petitioner complying at all times with the plans and documents presented to the Village of Pewaukee Plan Commission. The existing site plan/plan of operation shall remain in effect, except as further restricted or modified herein.
4. The Petitioner shall satisfy all comments, conditions, and concerns of the Village of Pewaukee Plan Commission and Board, Village Engineer and Village Planner for the site plan, and other documentation.
5. Building Inspection. The Petitioner and/or Property Owner shall comply with any and all recommendations by the Village Building Inspector (or designee) prior to the issuance of an occupancy & use permit for the subject property. Approval by the Village Building Inspector, if granted, shall be solely for the benefit of the Village of Pewaukee, and shall not be relied upon by the petitioner or others as proof of structural integrity or safety of any structure on the property, or as proof of compliance with any particular construction standard that would apply to new construction. The petitioner shall independently determine the suitability of all structures on the property for the petitioner's intended uses.
6. Fire Inspection. The Petitioner and/or Property Owner shall comply with any and all recommendations by the Village of Pewaukee Fire Department Chief (or designee) prior to the issuance of an occupancy & use permit for the subject property. Approval by the Village of Pewaukee Fire Department Chief (or designee), if granted, shall be solely for the benefit of the Village of Pewaukee, and shall not be relied upon by the petitioner or others as proof of fire safety of any structure on the property, or as proof of compliance with any particular fire safety standard that would apply to new construction. The petitioner shall independently determine the fire safety and suitability of all structures on the property for the petitioner's intended uses. Fire department approval following review to ensure any additional fire access requirements for the parking lot as proposed is required prior to building occupancy.
7. This approval is granted for the express conditions stated herein. Changes or alterations including, but not limited to, a change in use, premises, lands, or ownership of the property in question shall require a new Business Site Plan approval with all the zoning procedures at the time being followed. The allowed uses of the property must at no time be hazardous, harmful, obnoxious, offensive, or a nuisance by reasons of appearance, noise, dust, smoke, odor, or other similar factors. Any use not specifically listed, as permitted, shall be considered to be prohibited, except as may be otherwise specified herein.
8. The Property Owner shall keep the exterior condition of the premises in a neat and orderly condition at all times so the premises will not detract from neighboring premises. There shall be no outside storage of junk, debris, construction material, or other refuse materials within the property and all such materials shall be disposed of promptly and properly.
9. The Property Owner shall allow Village of Pewaukee representatives to inspect the premises following a 24-hour notice for the purposes of determining compliance with this approval.
10. The Petitioner and/or Property Owner shall obtain the appropriate permits from the Village of Pewaukee.
11. The Petitioner and/or Property Owner shall, on demand, reimburse the Village of Pewaukee for all costs and expenses of any type incurred by the Village in connection with the review and approval of this application, including, but not limited to, the cost of professional services incurred by the Village for the

review and preparation of required documents, attendance at meetings or other related professional services as well as to enforce the conditions in this approval due to a violation of these conditions.

EXHIBIT:

- A. GIS Property Location Map
- B. Petitioner Application
- C. Proposed Site Plan



733 W. Wisconsin Zoning Map



SEWRPC, Waukesha County Land Information Office

0 50 100
ft
Scale: 1 in. = 208 ft.
1 : 2507



DISCLAIMER: The Village of Pewaukee does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.

Village of Pewaukee
235 Hickory Street
Pewaukee, WI 53072
262-691-5660

Notes



BUSINESS SITE PLAN APPLICATION FORM

235 Hickory St, Pewaukee WI 53072 - villagehall@villageofpewaukeewi.gov - (262) 691-5660

PROPERTY / PROPERTY OWNER INFORMATION ☐

Property Address: 203 E Wisconsin Avenue, Pewaukee Tax Key: PWV 0899982
 Property Owner Name: Brayden J Basso Zoning of Property: Business

APPLICANT INFORMATION ☐

Applicant Name: Scott Schaefer Applicant Phone #: 2622274377
 Applicant Address: 1200 post road brookfield wi 53005
 Applicant Email: Scott@heardhosp.com

DESCRIPTION OF REQUEST (Please be thorough and attach additional pages if needed) ☐

Business Name Corresponding to Site Plan: Netties Irish Pub
 FEIN, if applicable: 99-3448141
 Summary of Request (New Construction, Addition, Modification, etc.): Addition to current deck. Adding a
covered stage to current deck for Thursday night music on deck in summer. New stage also has ADA ramp up to stage height.

DIRECTIONS / NOTES—See page 4 for specific items required ☐

NOTE: As this is for consultative purposes only, an engineering review will not take place at this time. An engineering review will take place if/when a formal application for approval is submitted.

Please return Completed Application Forms along with the following:

- ☐ 1. One paper copy of the submittal, including plans/drawings/applicable attachments in a size 11x17 page size or less. Also provide one full size scale copy if larger than 11x17.
- ☐ 2. One digital copy of the submittal, including plans/drawings/applicable attachments. (USB/Email)
- ☐ 3. Signatures on page 3
- ☐ 4. Completed Professional Services Reimbursement Form
- ☐ 5. Conditional Use for Restaurant/Night Club must be attached *if applicable*

For Office Use Only

Staff Initials: _____

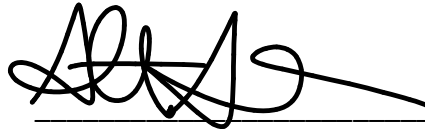
Date/Time Received: _____

Provide detailed information with your application that addresses the following:

1. Development Plans of the proposed use in sufficient detail to enable the Commission to evaluate your application such as architectural & landscape treatment, proper placement of the building(s) on the lot, traffic generation & circulation, provision for parking, site grading and drainage, exterior lighting, dumpster location and screening, outside storage of any sort, and manner of control devices (when necessary) to eliminate noise, dust, odor, smoke or other objectionable operating conditions & ensure general compatibility of the proposed use within its surroundings.
2. It is the responsibility of the applicant/owner to ensure that the proposed project complies with the Village's Land Development Code. It is also highly recommended that the applicant/owner review the Village's adopted [Land Use Plan](#) to ensure a proper understanding of the Village's future vision for the area in question.
3. Signage shall be determined through a sign permit process and/or a sign plan approved by the Plan Commission. Permits for individual signs may be applied for with the Village's Code Compliance Officer.

Brayden J Basso

Property Owner Printed Name



Signature of Property Owner

The application will not be processed without the Owner's Signature regardless of who is listed as the Applicant. This signature authorizes the Village of Pewaukee to process the Conditional Use Approval Application proposed for my property and further authorizes the Village or its representatives to conduct reasonable and routine inspections of my property for the purposes of evaluating this application.

Brayden J Basso

Applicant's Printed Name



Signature of Applicant

If you have any questions, please call Village Hall at (262) 691-5660.

